

PLAN OF SUBDIVISION		EDITION 1	PS837153G	
LOCATION OF LAND PARISH: CRANBOURNE TOWNSHIP: — SECTION: — CROWN ALLOTMENT: 58A (PT) TITLE REFERENCE: VOL. FOL. LAST PLAN REFERENCE: PS837133N (LOT J) POSTAL ADDRESS: 205S HARDYS ROAD (at time of subdivision) CLYDE NORTH 3978 MGA CO-ORDINATES: E: 355 520 ZONE: 55 (of approx centre of land in plan) N: 5 781 540 GDA 2020		Council Name: Casey City Council SPEAR Reference Number: S154549E		
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON	LOTS 1 - 2300 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOT L COMPRISES THREE PARTS. FOR RESTRICTION A AFFECTING LOTS 2301 TO 2329 (BOTH INCLUSIVE) SEE SHEET 4.		
ROAD R1	CITY OF CASEY			
NOTATIONS		LOTS 1 - 2300 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOT L COMPRISES THREE PARTS. FOR RESTRICTION A AFFECTING LOTS 2301 TO 2329 (BOTH INCLUSIVE) SEE SHEET 4.		
DEPTH LIMITATION: 15.24m below the surface				
This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. PlnA01044/18 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 77, 289, 290, 291, DVA69/86 AND DVA 69/91. In Proclaimed Survey Area No. 71				
Estate: Meridian Phase No.: 23 No. of Lots: 29 + Lot L PHASE AREA: 1.977ha				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-2	DRAINAGE	SEE DIAG.	PS837134L	CITY OF CASEY
E-2	SEWERAGE	3	PS837134L	SOUTH EAST WATER CORPORATION
E-3, E-4	SEWERAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION
E-4	DRAINAGE	3	THIS PLAN	CITY OF CASEY
E-5	SEWERAGE	2.50	PS837133N	SOUTH EAST WATER CORPORATION
 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au		SURVEYORS FILE REF: 1801767/23 1801767-23-PS-V3.DWG Digitally signed by: James Arthur Wiggins, Licensed Surveyor, Surveyor's Plan Version (3), 15/04/2021, SPEAR Ref: S154549E		ORIGINAL SHEET SIZE: A3 SHEET 1 OF 4

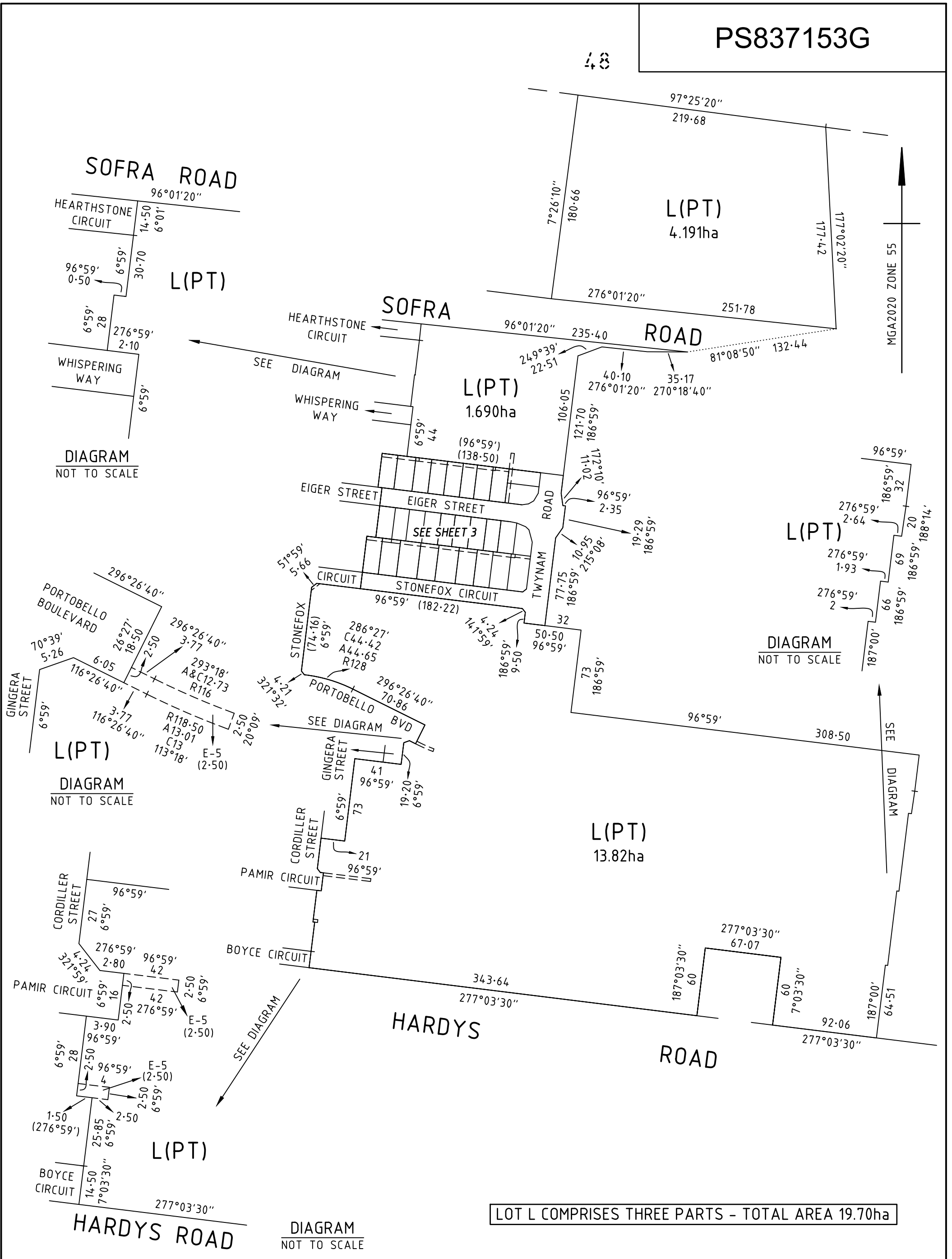


DIAGRAM NOT TO SCALE

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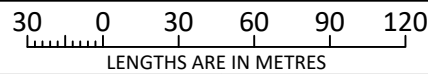
DIAGRAM NOT TO SCALE

LOT L COMPRISES THREE PARTS - TOTAL AREA 19.70ha

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SURVEYORS REF 1801767/23

SCALE 1 : 3000



ORIGINAL SHEET SIZE: A3

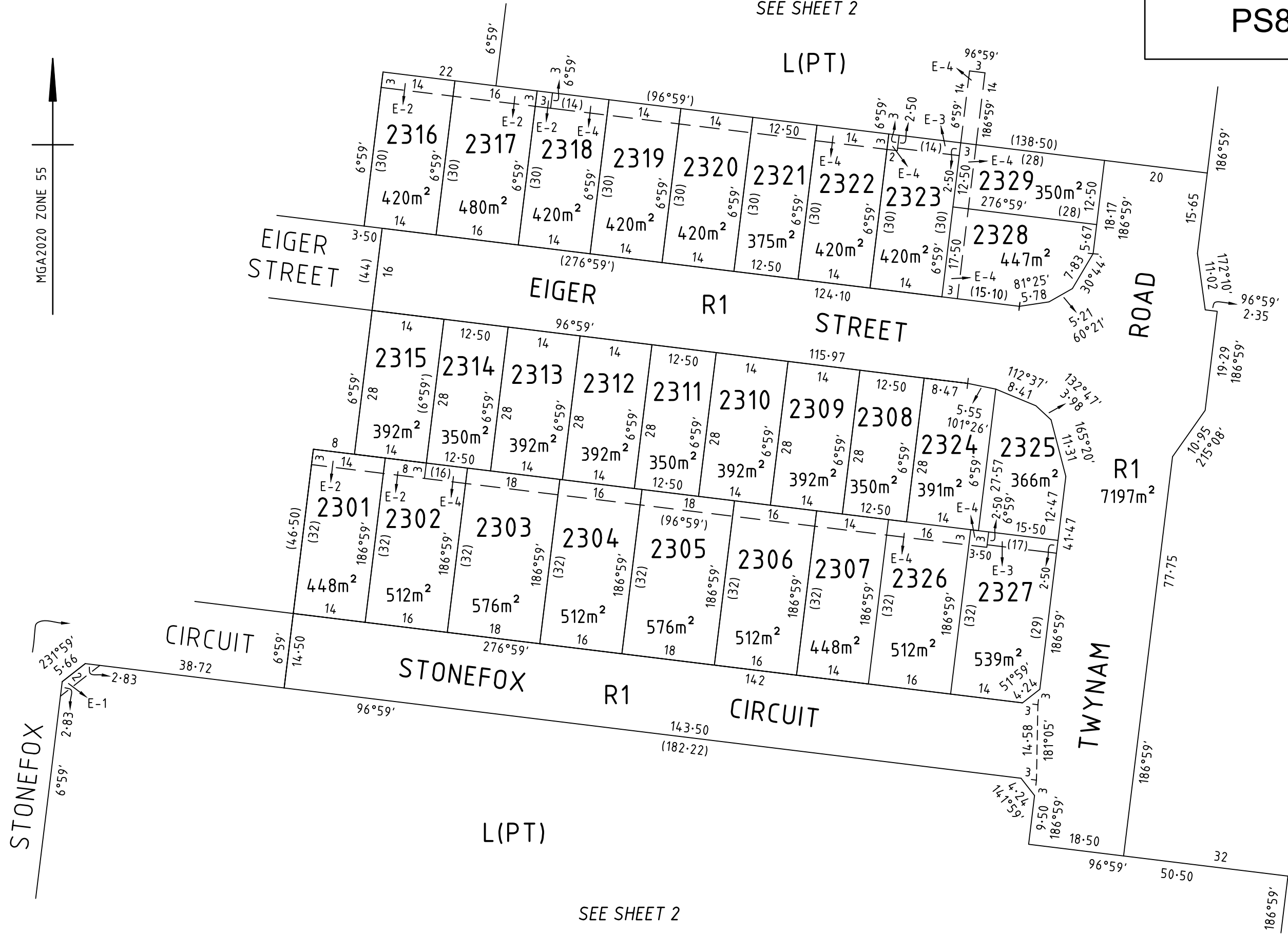
SHEET 2

Digitally signed by: James Arthur Wiggins, Licensed Surveyor,
 Surveyor's Plan Version (3),
 15/04/2021, SPEAR Ref: S154549E

SEE SHEET 2

L(PT)

MGA2020 ZONE 55



SEE SHEET 2

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SURVEYORS REFERENCE	1801767/23
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SCALE 1 : 750	7.5 0 7.5 15 22.5 30 LENGTHS ARE IN METRES
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ORIGINAL SHEET SIZE: A3	SHEET 3
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CREATION OF RESTRICTION 'A'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BE BURDENED: LOTS 2301 TO 2329 (BOTH INCLUSIVE)

LAND TO BE BENEFITED: LOTS 2301 TO 2329 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY LOT FORMING PART OF THE LOT TO BE BURDENED MUST NOT, WITHOUT THE PERMISSION OF THE RESPONSIBLE AUTHORITY, CONSTRUCT OR PERMIT TO BE CONSTRUCTED:

- A) ANY DWELLING OTHER THAN THAT IN ACCORDANCE WITH MCP No. AA7235.
- B) ANY BUILDING ON A LOT UNLESS THE PLANS FOR SUCH A BUILDING ARE ENDORSED AS BEING IN ACCORDANCE WITH THE MERIDIAN ESTATE DESIGN GUIDELINES PRIOR TO THE ISSUE OF A BUILDING PERMIT.
- C) ANY DWELLING OR COMMERCIAL BUILDING UNLESS THE BUILDING OR DWELLING INCORPORATES DUAL PLUMBING FOR THE USE OF RECYCLED WATER IN TOILET FLUSHING AND GARDEN WATERING SHOULD THE SAID SERVICE BECOME AVAILABLE.

EXPIRY DATE

THESE RESTRICTIONS WILL CEASE TO AFFECT ANY OF THE BURDENED LOTS TEN (10) YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.