

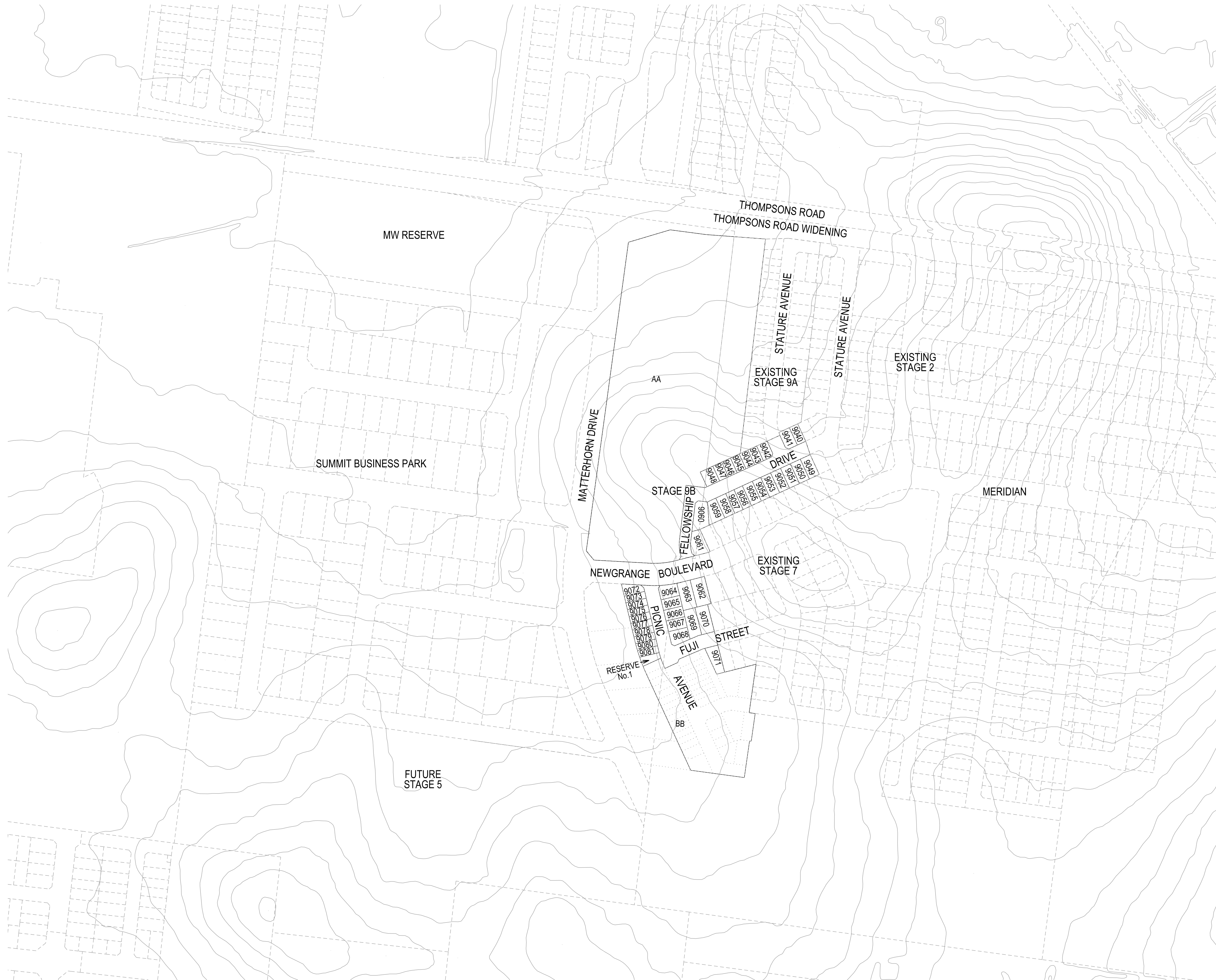
City of Casey

Approved By : Ivan Heng
 Plan No. : R5340
 File No. : SEng00271/19
 Planning Permit No. : PlnA00127/16.A
 Date : 03/12/2019
 Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.

BROWN PROPERTY GROUP MERIDIAN - STAGE 9B 1850 THOMPSONS RD, CLYDE NORTH CITY OF CASEY

SHEET INDEX

1. LOCALITY PLAN AND SHEET INDEX
2. CONSTRUCTION NOTES
3. TYPICAL CROSS SECTIONS & RETAINING WALL DETAILS
4. ENGINEERING DETAIL PLAN & SERVICE OFFSET TABLE
5. INTERSECTION DETAILS
- 6-8. KERB LONGITUDINAL SECTIONS
9. STATURE AVENUE LONGITUDINAL AND CROSS SECTIONS
- 10-12. FELLOWSHIP STREET LONGITUDINAL AND CROSS SECTIONS 1&2
- 13-14. PICNIC AVENUE LONGITUDINAL AND CROSS SECTIONS 1
15. FUJI STREET LONGITUDINAL AND CROSS SECTIONS
- 16-19. DRAINAGE LONG SECTIONS 1-4
20. PIT SCHEDULE
21. SIGNAGE AND LINEMARKING PLAN



VERSION DETAILS:			
REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
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J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY
FILENAME: P:\1137\1137_9B\E12 - Design\6 - DGN\R01.dgn			
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 CHARLTON DEGG LAND DEVELOPMENT CONSULTANTS SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3830 www.charltondegg.com.au			
COUNCIL: CITY OF CASEY			
TITLE: BROWN PROPERTY GROUP MERIDIAN ESTATE - STAGE 9B 1850 THOMPSONS ROAD, CLYDE NORTH			
LOCALITY PLAN AND SHEET INDEX			
DRG NO. 1137_9B/R01	REV. K	SHEET 01 OF 21	

MELWAY REF: 131C12
 SCALE 1:2500 @ A1

CONSTRUCTION NOTES

1. ALL LEVELS AND DIMENSIONS ARE IN METRES UNLESS OTHERWISE SPECIFIED.
2. ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT AUTHORITY STANDARDS, SPECIFICATIONS AT THE TIME OF CONSTRUCTION AND IN ACCORDANCE WITH THE AUSTRALIAN STANDARD GENERAL CONDITIONS OF CONTRACT AS 2124-1992.
3. STANDARD DRAWINGS OF THE RELEVANT ROAD AUTHORITY ARE AN ANNEXURE TO THE CONSTRUCTION DRAWINGS
4. THE CERTIFIED PLAN OF SUBDIVISION IS AN ANNEXURE TO THE CONSTRUCTION DRAWINGS
5. MELBOURNE WATER PLANS FOR WETLANDS AND INFRASTRUCTURE (WHERE APPLICABLE) ARE AN ANNEXURE TO THE CONSTRUCTION DRAWINGS.
6. THE SCHEDULE OF QUANTITIES ARE AN ANNEXURE TO THE CONSTRUCTION DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE QUANTITIES REFLECT THAT OF THE CONSTRUCTION WORKS DETAILED IN THESE PLANS. THE SUPERINTENDENT IS TO BE NOTIFIED SHOULD ANY DISCREPANCIES BE IDENTIFIED.
7. ALL DISTURBED AREAS ARE TO BE GRADED, TOPSOILED TO A MINIMUM DEPTH OF 150 MILLIMETRES AND SOWN WITH APPROVED SEED MIX TO THE SATISFACTION OF THE SUPERINTENDENT.
8. APPROVAL FOR THE USE OF WATER FOR CONSTRUCTION PURPOSES IS THE RESPONSIBILITY OF THE CONTRACTOR. REFER TO THE RELEVANT WATER AUTHORITY FOR SPECIFIC REQUIREMENTS AND APPROVALS.
9. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVE THE LOCATION AND DEPTH OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS. THE SUPERINTENDENT IS TO BE NOTIFIED SHOULD ANY DISCREPANCIES BE IDENTIFIED.
10. SITE ACCESS MUST BE MAINTAINED AT ALL TIMES. TRAFFIC MANAGEMENT PLAN MUST BE PROVIDED TO THE RELEVANT ROAD AUTHORITY (AND APPROVED) /SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF WORKS.
11. ACCESS TO THE EXISTING RESIDENCE TO BE MAINTAINED AT ALL TIMES.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL ENVIRONMENTAL CONTROLS TO THE SATISFACTION OF THE RELEVANT AUTHORITIES AND EPA REQUIREMENTS.
13. APPROPRIATE INSPECTIONS ARE TO BE ARRANGED WITH THE COUNCIL WORKS SUPERVISOR
14. ALL VEGETATION TO BE RETAINED AS SPECIFIED IS TO BE PROTECTED (TPZ FENCING) PRIOR TO THE COMMENCEMENT OF WORKS
15. ALL FILLING WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE GEOTECHNICAL REPORT (REF 215255Report01.2) AND UNDERTAKEN UNDER LEVEL 1 SUPERVISION. A COMPACTION REPORT IS TO BE PROVIDED UPON COMPLETION OF THE FILLING WORKS.
16. ALL BATTERS SHALL BE BLENDED INTO THE NATURAL SURFACE TO THE SATISFACTION OF THE SUPERINTENDENT.
17. MINIMUM FALL ON LOTS IS TO BE 1 IN 150 LONGITUDINALLY.
18. PRIOR TO THE FILLING OF EXISTING OPEN DRAINS, CHANNELS OR DAMS A SUITABLY QUALIFIED GEOTECHNICAL CONSULTANT SHOULD VERIFY THE BASE IS SUITABLE FOR FILLING AND THE INVERT LEVELS ARE TO BE TAKEN TO ENSURE THE AS-CONSTRUCTED FILL DEPTHS CAN BE VERIFIED.
19. THE CONTRACTOR IS RESPONSIBLE FOR ALL SERVICE TRENCHING AND BACKFILLING FOR DRAINAGE, SEWER, POTABLE AND NON-POTABLE WATER, ELECTRICAL, TELECOMMUNICATIONS AND GAS INCLUDING THE REMOVAL/DISPOSAL OF EXCESS MATERIAL.
20. REFER TO THE RELEVANT SERVICE PLANS FOR WORKS ASSOCIATED WITH MELBOURNE WATER WORKS, SEWER, POTABLE AND NON-POTABLE WATER, ELECTRICAL, TELECOMMUNICATION AND GAS SUPPLY. THESE SERVICES ARE REFLECTED ON THE DETAIL PLANS INDICATIVELY AND MAY BE SUBJECT TO MINOR AMMENDMENTS.
21. LOCATIONS FOR SERVICE CONDUITS SHALL BE DETERMINED FROM THE RELEVANT SERVICE PLANS. WHERE THESE ARE REQUIRED TO BE ALTERED THE SUPERINTENDENT WILL CONFIRM THESE LOCATIONS AS REQUIRED. POTABLE & NON-POTABLE WATER AND GAS CONDUITS SHOULD BE A MINIMUM OF 4 METRES FROM TITLE BOUNDARIES (SIDE) WHERE POSSIBLE. CONDUIT LOCATIONS SHOULD BE POSITIONED IN CONJUNCTION WITH THE RELEVANT SUB-CONTRACTOR
22. A.G DRAINS TO BE CONSTRUCTED BEHIND ALL KERB AND CHANNEL AND LONGITUDINAL PAVEMENT JOINTS
23. RCP DRAINAGE PIPES TO BE CLASS 2, RUBBER RING JOINTED UP TO Ø675mm UNLESS OTHERWISE SPECIFIED
24. ALL DRAINAGE LINES IN ROAD RESERVES, UNDER PAVEMENTS, VEHICLE CROSS-OVERS ARE TO BE BACKFILLED WITH FCR AS PER THE RELEVANT AUTHORITY SPECIFICATIONS.
25. ALL EASEMENT DRAINS ARE AT 1 METRE OFFSET UNLESS OTHERWISE SPECIFIED.
26. ALL PIT FLOORS ARE TO BE SHAPED TO ACCOMMODATE DROP THROUGH PITS. ALL PITS TO BE CONSTRUCTED TO THE COUNCIL/EDCM SPECIFICATIONS.
27. ALL PIT LIDS ARE TO BE IN ACCORDANCE WITH THE COUNCIL/EDCM SPECIFICATIONS
28. ALL PROPERTY INLET DRAINS TO BE Ø225mm AND MUST BE A MINIMUM OF 500 MILLIMETRES BELOW THE FINISHED SURFACE LEVELS AS REQUIRED BY THE COUNCIL/EDCM SPECIFICATIONS.
29. SUBGRADE IMPROVEMENT IS TO BE APPROVED BY THE SUPERINTENDENT AND COUNCILS WORKS SUPERVISOR PRIOR TO COMMENCEMENT OF WORKS.
30. PAVEMENT DEPTHS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND GEOTECHNICAL REPORT (REF. 215255Report01.2). CHANGES TO THESE DEPTHS MUST BE APPROVED BY COUNCILS WORKS SUPERVISOR AND THE SUPERINTENDENT.
31. THE CONTRACTOR SHALL CONTACT THE SUPERINTENDENT FOR THE CO-ORDINATION OF ELECTRICAL WORKS AT LEAST 28 DAYS PRIOR TO THE PROPOSED COMMENCEMENT.
32. ELECTRICAL AND TELECOMMUNICATIONS CABLES ARE TO BE PLACED IN A SHARED TRENCH TO THE SPECIFICATIONS OF THE RELEVANT AUTHORITIES.
33. CONDUIT LOCATIONS AND PROPERTY DRAIN INLET LOCATIONS ARE TO BE STAMPED ON KERB AND CHANNEL AND FOOTPATH IN ACCORDANCE WITH COUNCIL/EDCM SPECIFICATIONS.
34. FOOTPATHS ARE TO CONSTRUCTED 1.5 METRES WIDE AND 2.5 METRES WIDE (SHARED) IN ACCORDANCE WITH COUNCIL/EDCM SPECIFICATIONS.
35. PEDESTRIAN CROSSINGS THROUGH SPLITTER ISLANDS ARE TO BE CONSTRUCTED AT PAVEMENT LEVEL.
36. VEHICLE CROSOVERS ARE SHOWN INDICATIVELY. CONSTRUCTION REQUIREMENTS INCLUDING OFFSETS ARE TO BE IN ACCORDANCE WITH COUNCIL/EDCM SPECIFICATIONS
37. WHERE ALLOTMENTS ARE FILLED ABOVE FOOTPATH LEVELS, VEHICLE CROSSOVERS ARE TO BE CUT INTO ALLOTMENTS AT A MAXIMUM GRADE OF 1 IN 5
38. TBM AND PSM LOCATIONS ARE SHOWN ON SHEET 4 .
39. STREET SIGNS ARE TO BE INSTALLED IN ACCORDANCE WITH COUNCIL/EDCM SPECIFICATIONS.
40. SIGNAGE, LINE MARKING AND PAVEMENT MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH AS1742.2 2009, AND COUNCIL/EDCM SPECIFICATIONS
41. TACTILE INDICATORS ARE TO BE INSTALLED IN ACCORDANCE WITH AS1428.4.1 2009 AND VICROADS ROAD DESIGN NOTE 06-06, GUIDELINES FOR THE PLACEMENT OF TGS1 AT ALL PRAM CROSSINGS, FOOTPATH JUNCTIONS IN ACCORDANCE WITH COUNCIL/EDCM REQUIREMENTS
42. THE PLANS MAY ONLY BE REPRODUCED IN THEIR ENTIRETY.
43. KERB RADII LABELS ARE IN METRES AND INDICATE BACK OF KERB DIMENSIONS.

CITY OF CASEY NOTES:

1. ALL WORKS TO BE ACCORDANCE WITH CURRENT CITY OF CASEY AND/OR MPA SPECIFICATIONS AND STANDARD DRAWINGS AND TO THE SATISFACTION OF THE CITY OF CASEY SUPERVISING ENGINEER.
2. PRIOR TO COMMENCING WORKS ON SITE THE CONTRACTOR MUST ADDRESS ALL OCCUPATIONAL HEALTH & SAFETY ACT (2004) ITEMS AND ENSURE THAT THE REQUIRED NOTIFICATIONS HAVE BEEN MADE TO THE VICTORIAN WORKCOVER AUTHORITY, HEALTH & SAFETY DIVISION REGARDING TRENCHING OPERATIONS.
3. PRIOR TO COMMENCING ANY WORKS ON TRENCHES WITH DEPTHS EXCEEDING 1.5M THE CONTRACTOR'S CONSTRUCTION SUPERVISOR MUST GIVE WRITTEN NOTICE TO WORKSAFE VICTORIA IN ACCORDANCE WITH PART 5.1, DIVISION 4 OF THE OCCUPATIONAL HEALTH & SAFETY REGULATIONS (2017) & UNDERTAKE THE NECESSARY SAFETY PRECAUTIONS FOR TRENCHING OPERATIONS IN ACCORDANCE WITH THE WORKCOVER CODE OF PRACTICE (2018).
4. PAVEMENT DEPTHS MAY NEED TO BE MODIFIED DURING CONSTRUCTION, DEPENDING ON THE ON-SITE CONDITIONS AS DIRECTED BY THE CASEY CONSTRUCTION ENGINEER OR WORKS SUPERVISOR.
5. STREET LIGHTING MUST BE PROVIDED ON ALL NEWLY CREATED ROADS AND RESERVES IN ACCORDANCE WITH THE APPROVED PUBLIC LIGHTING PLAN
6. TREE RESERVE FENCES TO BE SHOWN ON CONSTRUCTION PLANS
7. APPROPRIATE SILTATION CONTROL IS TO BE CARRIED OUT DURING THE CONSTRUCTION AND MAINTENANCE PERIODS
8. AN ENVIRONMENTAL MANAGEMENT PLAN (EMP) MUST BE SUBMITTED TO, AND APPROVED BY COUNCIL PRIOR TO THE COMMENCEMENT OF ANY WORKS ON SITE AND ALL WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH THIS EMP
9. CUT BATTERS ARE TO BE HYDRO MULCHED USING APPROVED SEED MIXES.
10. REMOVAL OR RETENTION OF EXISTING TREES OR VEGETATION MUST BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN (OTHERWISE APPROVAL WILL BE REQUIRED FROM CASEY ARBORIST OR LANDSCAPE OFFICER.)
11. NO SURPLUS TREES, VEGETATION OR OTHER MATERIALS IS TO BE BURNT ON SITE.
12. ALL FOOTPATHS AND SHARED PEDESTRIAN-BICYCLE PATHS ARE TO BE 125MM THICK REINFORCED CONCRETE USING SL72 MESH AS PER EDCM 401
13. IF IMPORTED FILL MATERIAL IS TO BE PLACED ON SITE CLEAN FILL CERTIFICATES MUST BE PROVIDED FROM A NATA APPROVED TESTING LABORATORY IN ACCORDANCE WITH EPA BULLETIN PUBLICATION NO. 448 TO DEMONSTRATE ITS SUITABILITY FOR USE ON SITE.
14. FILLING IN ALL PROPERTIES & ROAD RESERVES IS TO BE CARRIED OUT USING APPROVED CLAY FILL. TOPSOIL & ALL VEGETABLE MATTER TO BE STRIPPED FROM SITE PRIOR TO FILLING. ALL FILLING TO BE CARRIED OUT IN 150MM LAYERS AND COMPACTED TO 95% OF MAX. DRY DENSITY. ALL FILLING TO COMPLY WITH AS 3798-2007, SECTION 8.2, LEVEL 1 A FILL REPORT MUST BE SUBMITTED FROM A NATA REGISTERED SOIL TESTING LABORATORY
15. DAMS TO BE LEVELED PRIOR TO FILLING AND LEVELS SHOWN ON "AS CONSTRUCTED" PLANS
16. STRUCTURAL FILL PADS WILL BE REQUIRED FOR ANY COMMUNITY, FAMILY OR CHILDRENS CENTRES IN CONSULTATION WITH CASEY'S BUILDING MANAGEMENT TEAM
17. IF ANY EXISTING SUBSTANDARD FILLING IS ENCOUNTERED ON THE SITE IT MUST BE REMOVED AND REPLACED WITH APPROVED FILL MATERIAL PROPERLY COMPACTED TO COUNCIL REQUIREMENTS. A GEO-TECHNICAL REPORT MUST BE SUBMITTED SHOWING DETAILS OF DEPTH, TYPE OF MATERIAL AND DENSITY OF THE FILL AREAS CONCERNED
18. ALL COUNCIL RESERVES MUST BE PROVIDED WITH CONNECTIONS FOR DRAINAGE, SEWERAGE, ELECTRICITY & OTHER SERVICES
19. INDUSTRIAL STRENGTH VEHICLE CROSSINGS TO BE PROVIDED FOR LOTS IN ADJACENT TO TEMPORARY CRUSHED ROCK TURN AROUND AREAS ON 'DEAD END' ROADS
20. TEMPORARY CRUSHED ROCK TURN AROUND AREAS MUST BE MAINTAINED IN A SAFE AND SOUND CONDITION SO THAT VEHICLES ARE ABLE TO USE THEM AT ALL TIMES
21. CONCRETE IS TO BE PLACED AROUND ELECTRICAL DISTRIBUTION PITS TO A MINIMUM DEPTH OF 200MM. DISTRIBUTION PITS ARE TO BE A MINIMUM OF 300MM FROM EDGE OF FOOTPATHS
22. TELECOMMUNICATION CONDUITS ARE TO BE FOR USE BY ANY TELECOMMUNICATIONS COMPANY
23. TACTILE INDICATORS ARE TO BE INSTALLED IN ACCORDANCE WITH AS1428.4.1 'DESIGN FOR ACCESS AND MOBILITY' AT ALL PRAM CROSSINGS, BUS STOPS/ HARD STANDS, ROUNDABOUTS/SIGNALS AND INTERSECTIONS AND IN ACCORDANCE WITH EDCM 403.
24. A CCTV REPORT MUST BE PROVIDED FOR ALL DRAINAGE LINES PRIOR TO ISSUE OF PRACTICAL COMPLETION.

VERSION DETAILS:

REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
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J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

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COUNCIL:
CITY OF CASEY

TITLE:
BROWN PROPERTY GROUP
MERIDIAN ESTATE - STAGE 9B
1850 THOMPSONS ROAD, CLYDE NORTH

CONSTRUCTION NOTES

DRG NO. 1137_9B/R02	REV. K	SHEET 02 OF 21
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City of Casey

Approved By : Ivan Heng

Plan No. : R5340

File No. : SEng00271/19

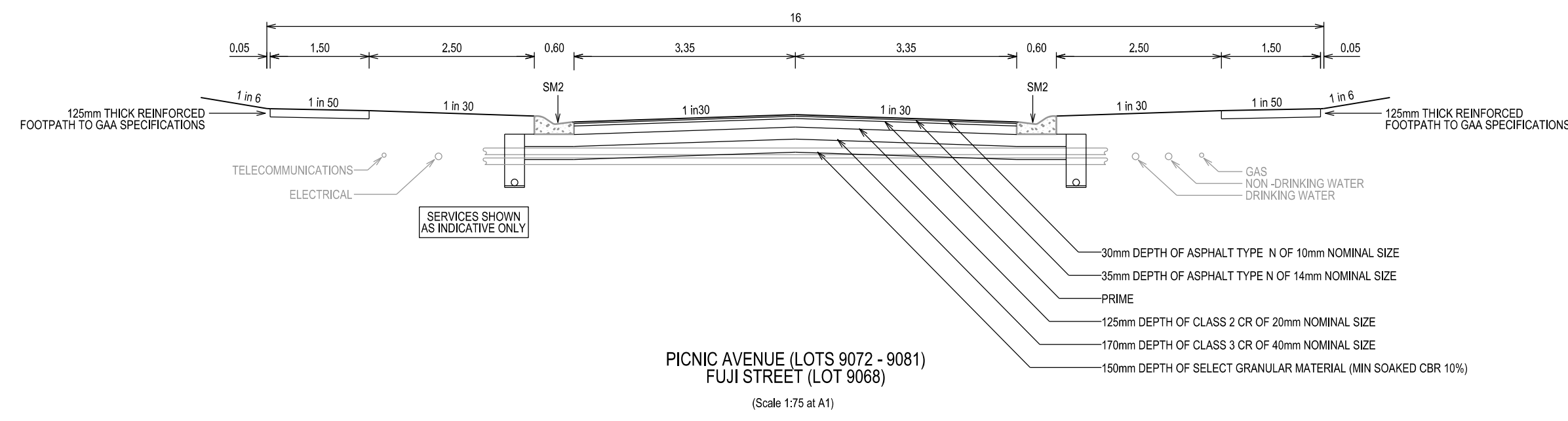
Planning Permit No. : PInA00127/16.A

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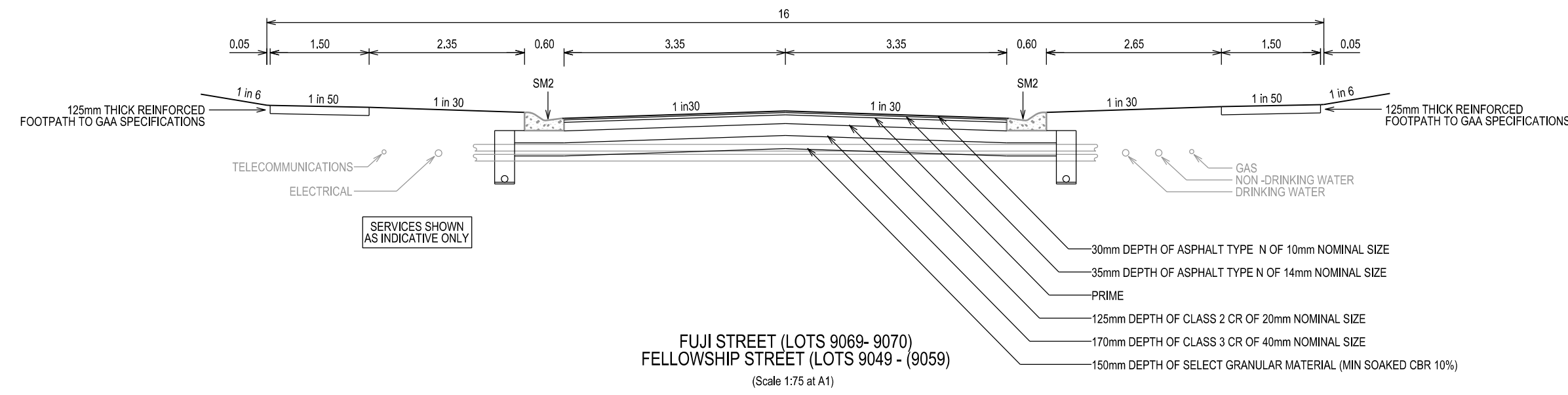
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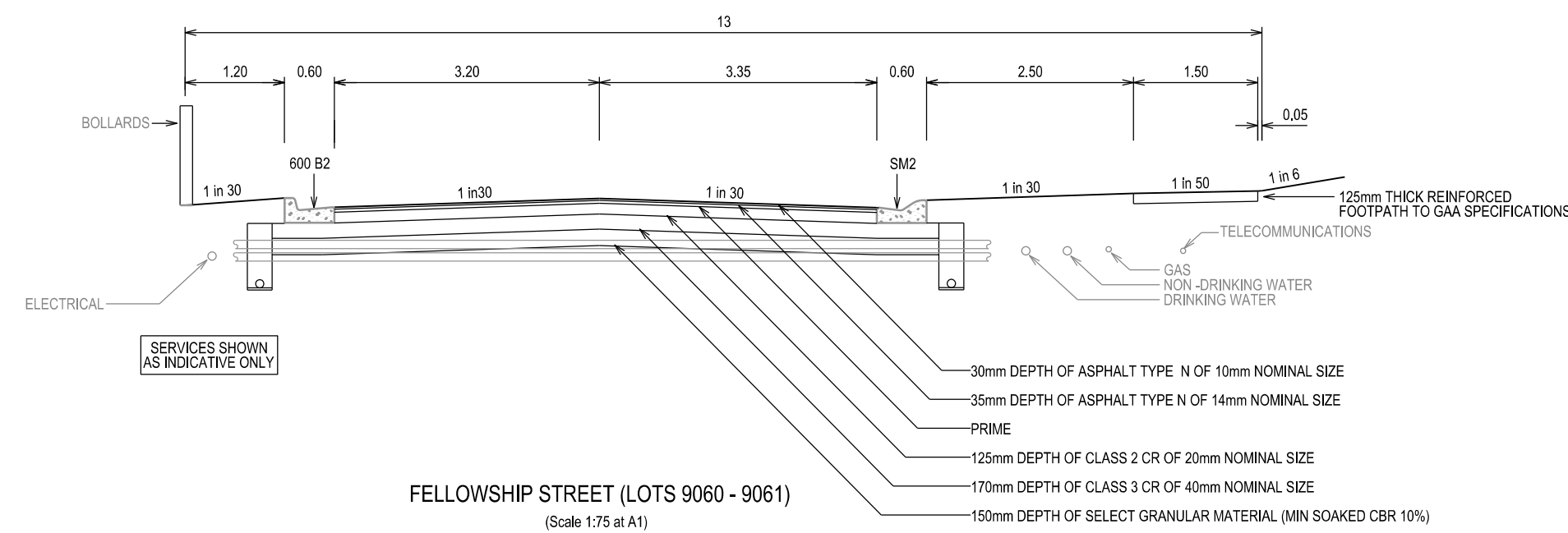
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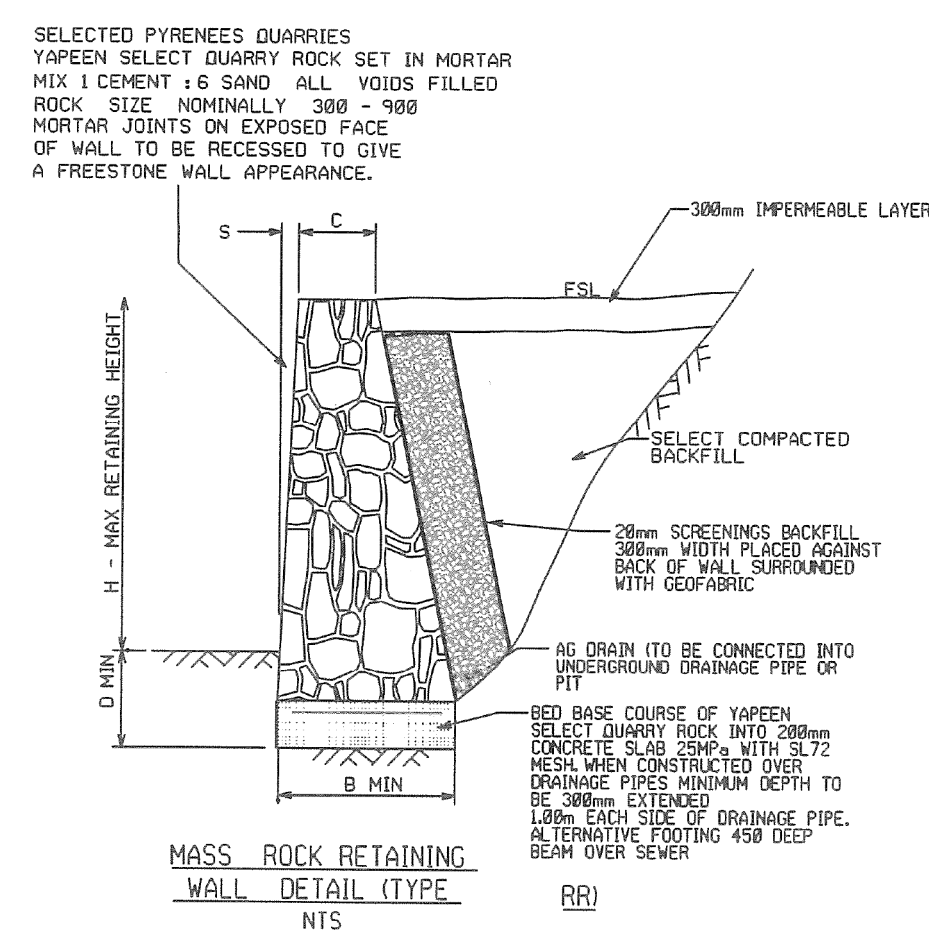
PICNIC AVENUE (LOTS 9072 - 9081)
FUJI STREET (LOT 9068)
(Scale 1:75 at A1)



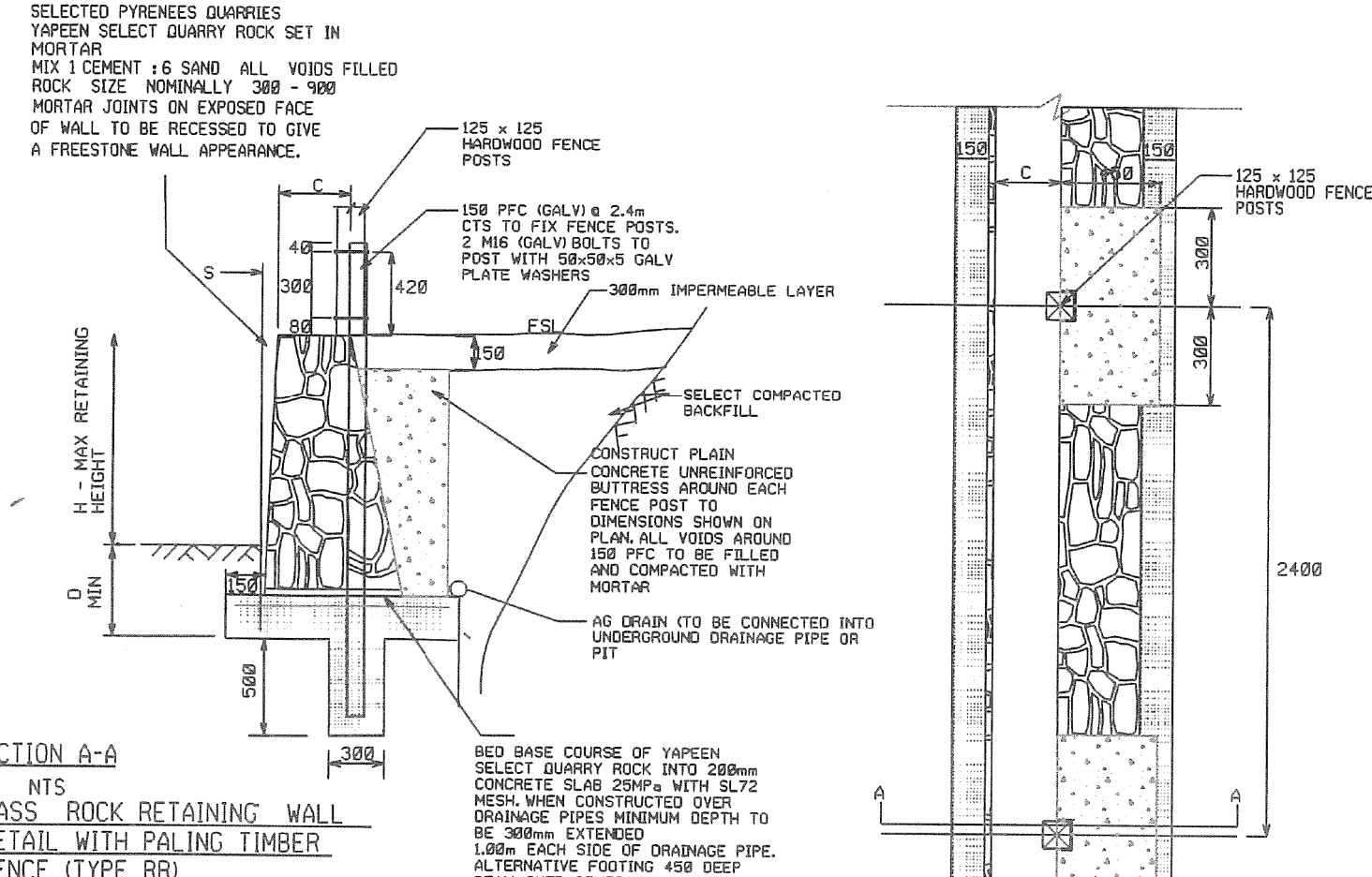
FUJI STREET (LOTS 9069 - 9070)
FELLOWSHIP STREET (LOTS 9049 - 9059)
(Scale 1:75 at A1)



FELLOWSHIP STREET (LOTS 9060 - 9061)
(Scale 1:75 at A1)

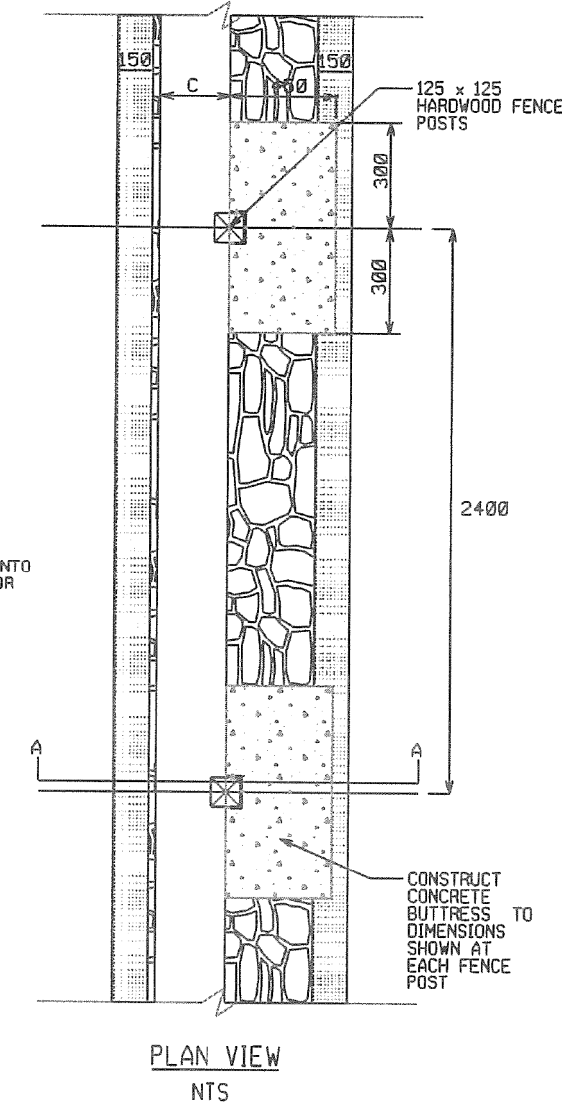


MASS ROCK RETAINING WALL DETAIL TYPE RR1
NTS

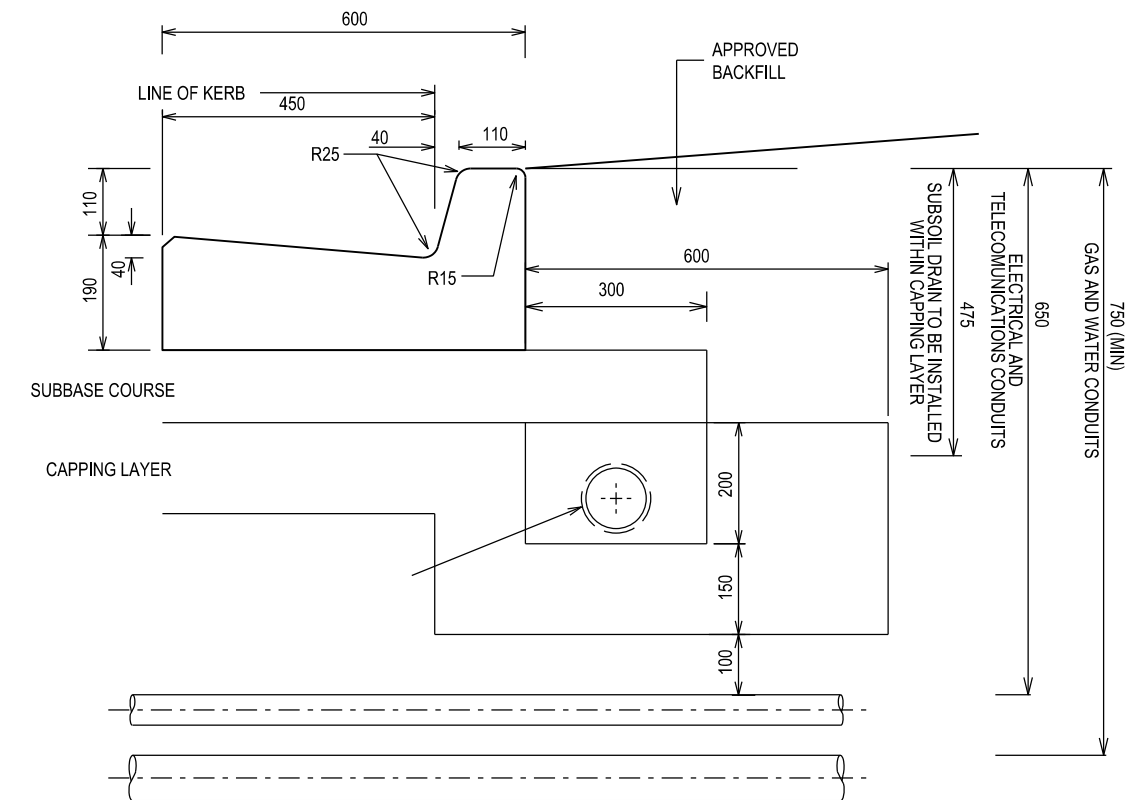


SECTION A-A
MASS ROCK RETAINING WALL DETAIL WITH PALING TIMBER FENCE (TYPE RR)
NTS

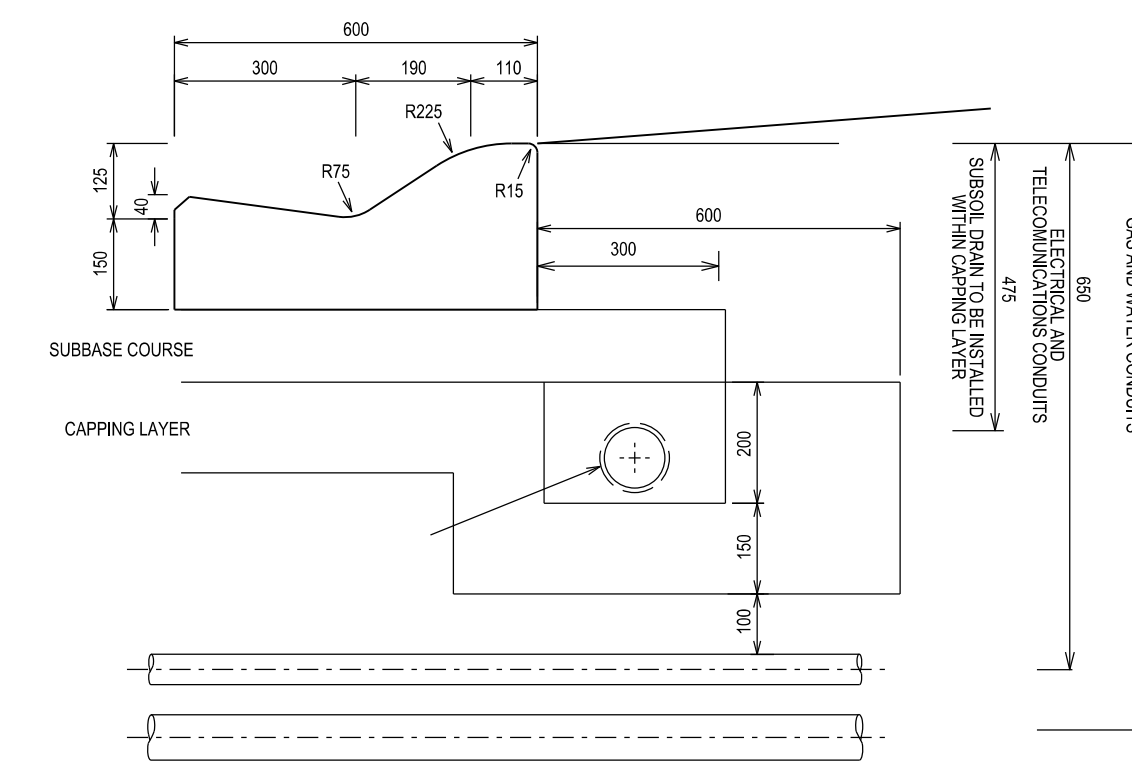
MAX. WALL HEIGHT - H (mm)	FOUNDING DEPTH - D (mm)	BASE WIDTH - B (mm)	FRONT FACE SETBACK - S (mm)	CREST WIDTH - C (mm)
400	400	450	15	300
500	400	500	15	300
600	400	500	30	300
800	400	600	30	300
1000	400	700	30	300



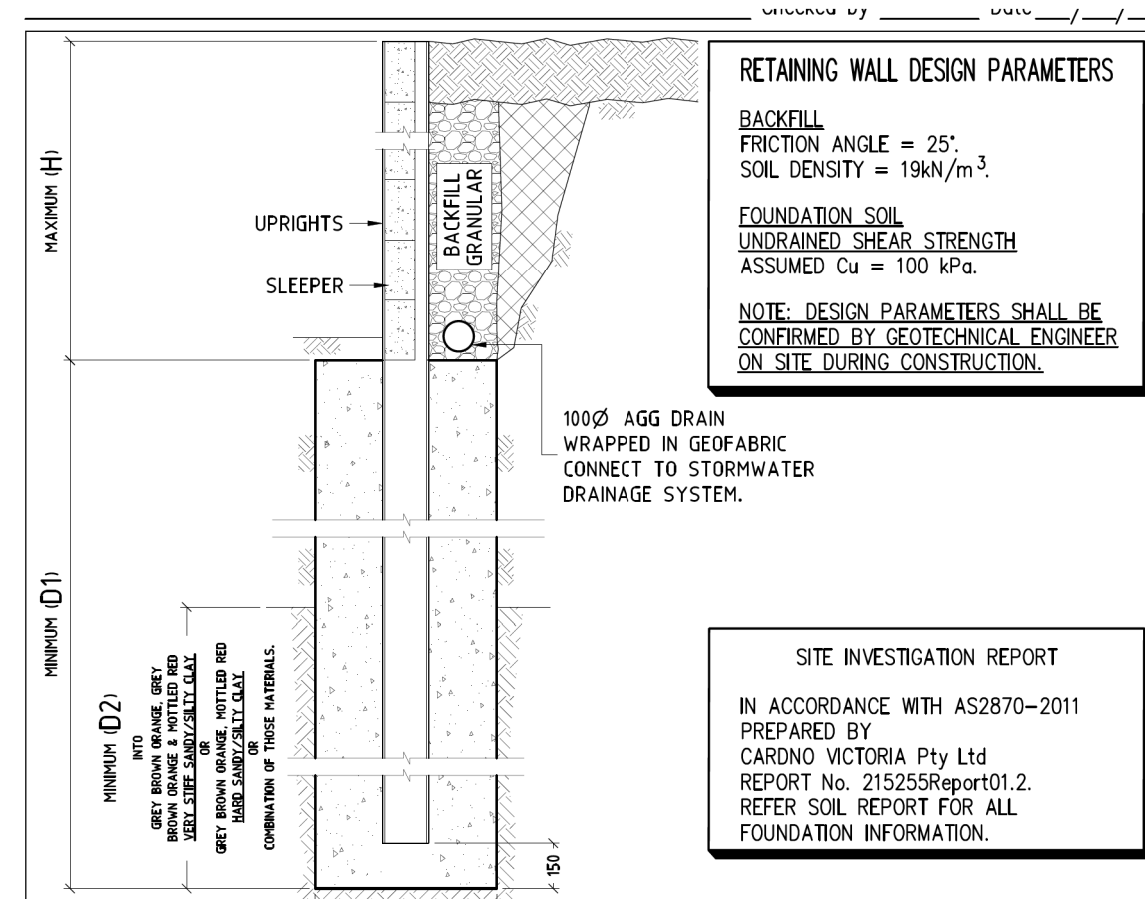
PLAN VIEW
NTS



BARRIER KERB & CHANNEL DETAIL 600 B2
(Scale 1:12.5 at A1)



ROLLOVER KERB & CHANNEL DETAIL SM2
(Scale 1:12.5 at A1)

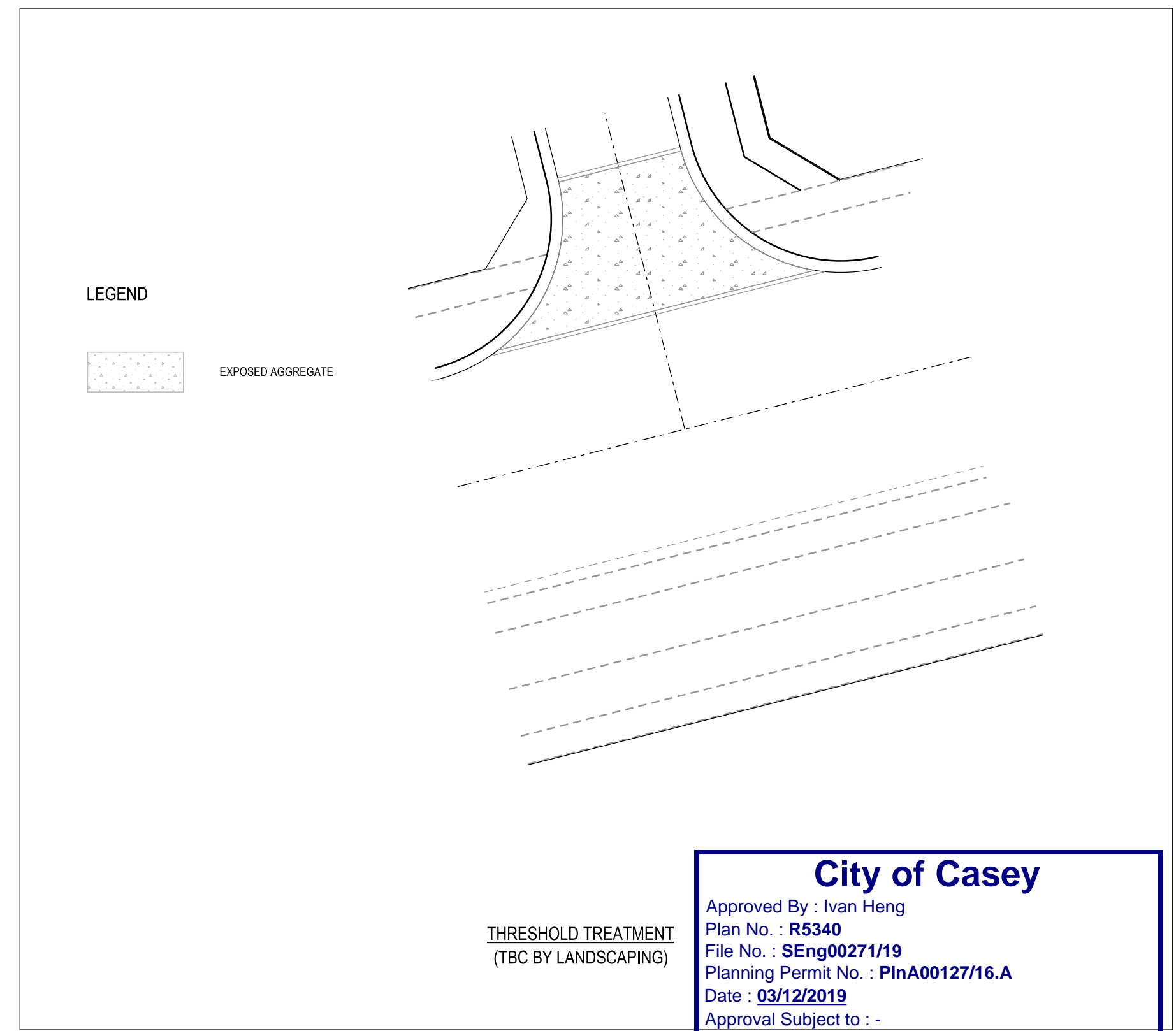


TYPICAL SLEEPER RETAINING WALL FOR H ≤ 2000
SCALE 1:20

RETAINING HEIGHT (mm)	SLEEPERS SPECIFICATION	UPRIGHTS		FOOTINGS		
		SPECIFICATION	SPACING (mm)	D1 (mm)	D2 (mm)	φ (mm)
H ≤ 400	MANUFACTURER DESIGN & SPECIFICATIONS	100UC 15 OR 150UB 14	2040	1100	700	350
400 < H ≤ 800	MANUFACTURER DESIGN & SPECIFICATIONS	100UC 15 OR 150UB 14	2040	1400	1000	350
800 < H ≤ 1200	MANUFACTURER DESIGN & SPECIFICATIONS	150UC 23 OR 150UB 14	2040	1500	1100	450
1200 < H ≤ 1600	MANUFACTURER DESIGN & SPECIFICATIONS	150UC 23 OR 180UB 18	2040	1900	1400	450
1600 < H ≤ 2000	MANUFACTURER DESIGN & SPECIFICATIONS	150UC 30 OR 200UB 22	2040	2100	1500	600

TYPICAL SLEEPER RETAINING WALL FOR 2000 < H ≤ 2400
SCALE 1:20

RETAINING HEIGHT (mm)	SLEEPERS SPECIFICATION	UPRIGHTS		FOOTINGS		
		SPECIFICATION	SPACING (mm)	D1 (mm)	D2 (mm)	φ (mm)
2000 < H ≤ 2400	MANUFACTURER DESIGN & SPECIFICATIONS	200UC 46 OR 250UB 31	2040	2500	1900	600



THRESHOLD TREATMENT (TBC BY LANDSCAPING)

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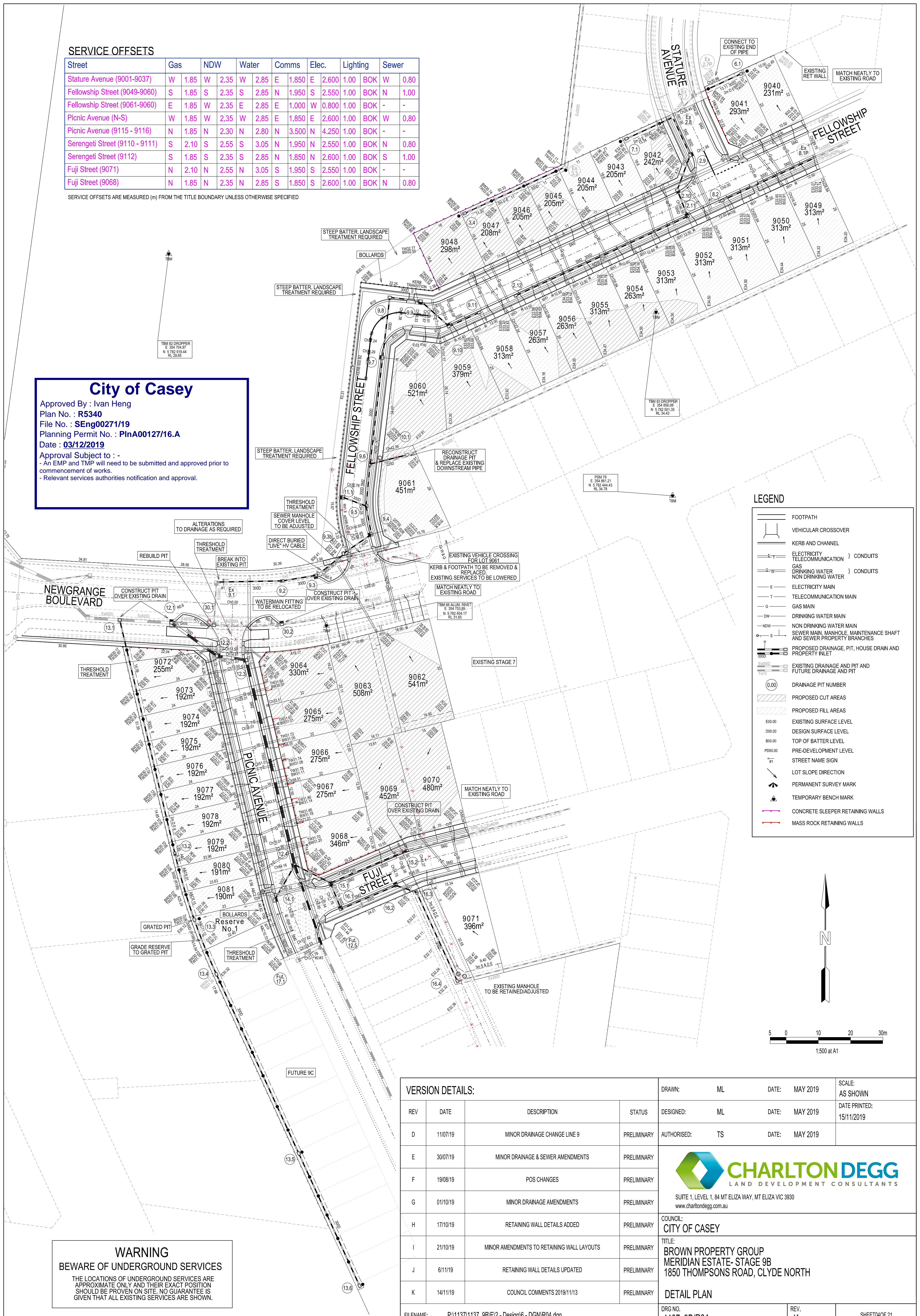
TYPICAL CROSS SECTIONS		REV.	SHEET
DRG NO. 1137_9B/03		K	03 OF 21

SERVICE OFFSETS

Street	Gas	NDW	Water	Comms	Elec.	Lighting	Sewer
Stature Avenue (9001-9037)	W 1.85	W 2.35	W 2.85	E 1.850	E 2.600	1.00	BOK W 0.80
Fellowship Street (9049-9060)	S 1.85	S 2.35	S 2.85	N 1.950	S 2.550	1.00	BOK N 1.00
Fellowship Street (9061-9060)	E 1.85	W 2.35	E 2.85	E 1.000	W 0.800	1.00	BOK - -
Picnic Avenue (N-S)	W 1.85	W 2.35	W 2.85	E 1.850	E 2.600	1.00	BOK W 0.80
Picnic Avenue (9115 - 9116)	N 1.85	N 2.30	N 2.80	N 3.500	N 4.250	1.00	BOK - -
Serengeti Street (9110 - 9111)	S 2.10	S 2.55	S 3.05	N 1.950	N 2.550	1.00	BOK N 0.80
Serengeti Street (9112)	S 1.85	S 2.35	S 2.85	N 1.850	N 2.600	1.00	BOK S 1.00
Fuji Street (9071)	N 2.10	N 2.55	N 3.05	S 1.950	S 2.550	1.00	BOK - -
Fuji Street (9068)	N 1.85	N 2.35	N 2.85	S 1.850	S 2.600	1.00	BOK N 0.80

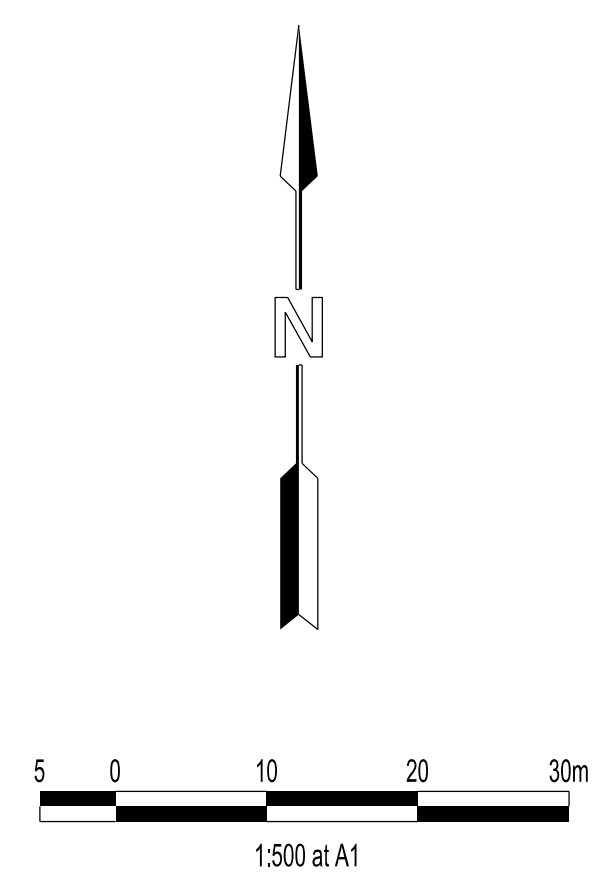
SERVICE OFFSETS ARE MEASURED (m) FROM THE TITLE BOUNDARY UNLESS OTHERWISE SPECIFIED

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LEGEND

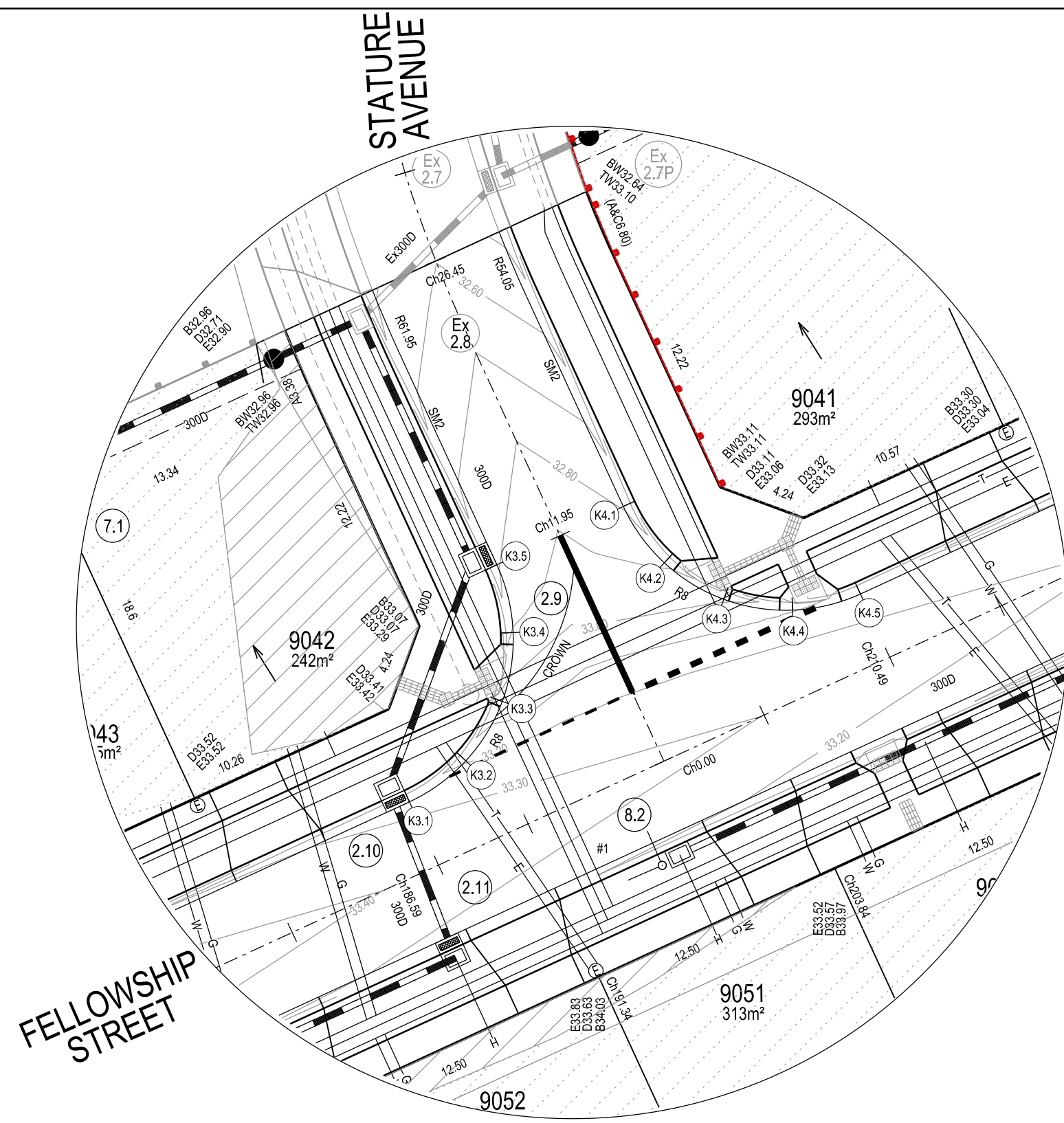
- FOOTPATH
- VEHICULAR CROSSOVER
- KERB AND CHANNEL
- ELECTRICITY TELECOMMUNICATION } CONDUITS
- GAS DRINKING WATER } CONDUITS
- NON DRINKING WATER
- ELECTRICITY MAIN
- TELECOMMUNICATION MAIN
- GAS MAIN
- DRINKING WATER MAIN
- NON DRINKING WATER MAIN
- SEWER MAIN, MANHOLE, MAINTENANCE SHAFT AND SEWER PROPERTY BRANCHES
- PROPOSED DRAINAGE, PIT, HOUSE DRAIN AND PROPERTY INLET
- EXISTING DRAINAGE AND PIT AND FUTURE DRAINAGE AND PIT
- DRAINAGE PIT NUMBER
- PROPOSED CUT AREAS
- PROPOSED FILL AREAS
- EXISTING SURFACE LEVEL
- DESIGN SURFACE LEVEL
- TOP OF BATTER LEVEL
- PRE-DEVELOPMENT LEVEL
- STREET NAME SIGN
- LOT SLOPE DIRECTION
- PERMANENT SURVEY MARK
- TEMPORARY BENCH MARK
- CONCRETE SLEEPER RETAINING WALLS
- MASS ROCK RETAINING WALLS



WARNING
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

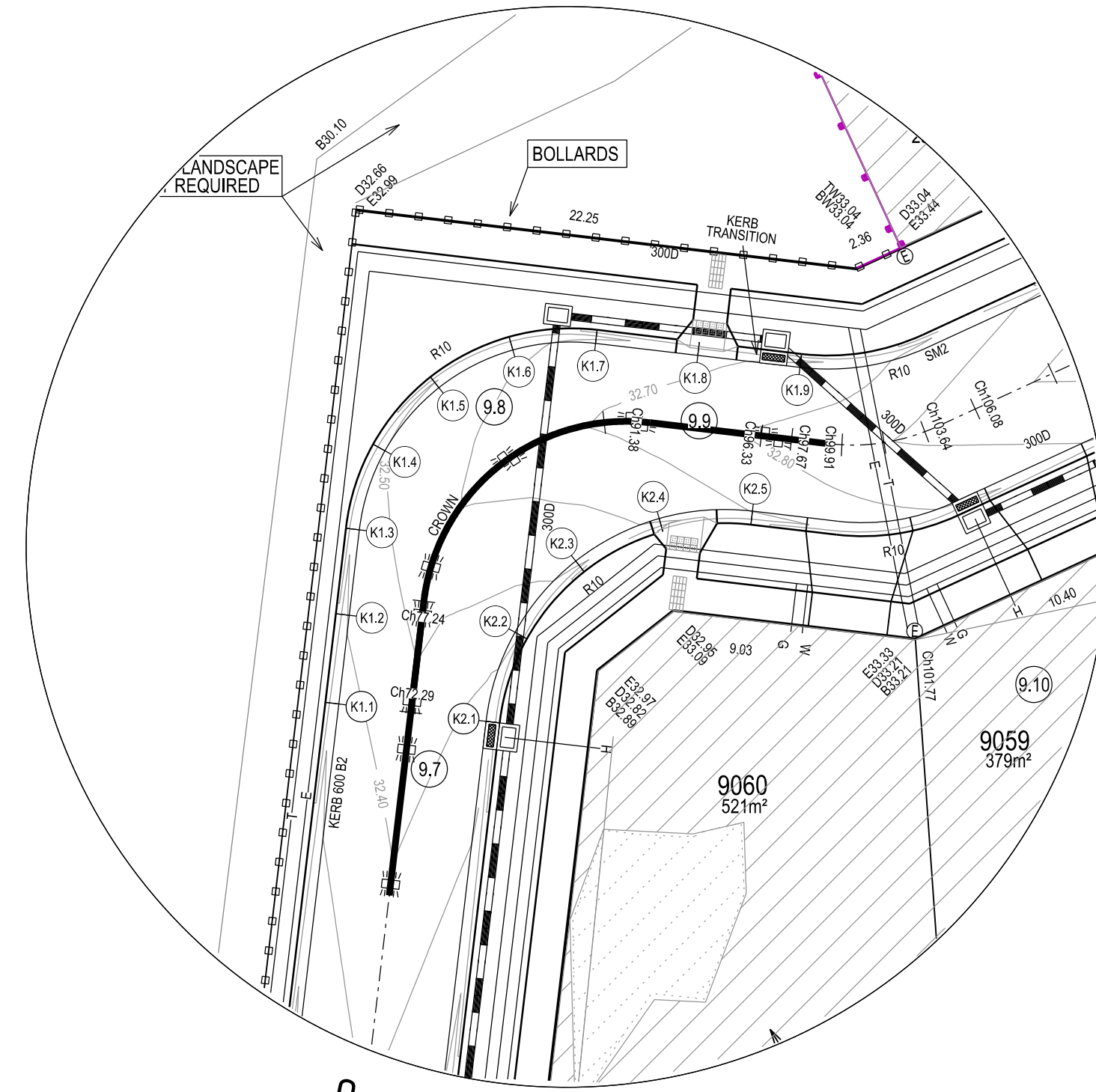
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E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY						
F	19/08/19	POS CHANGES	PRELIMINARY						
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY						
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY						
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY						
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY						
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY						
FILENAME: P:\11371137_9B\E2 - Design\6 - DGN\R04.dgn				DRG NO:	1137_9B/R04	REV:	K	SHEET04OF 21	

COUNCIL:
 CITY OF CASEY
 TITLE:
 BROWN PROPERTY GROUP
 MERIDIAN ESTATE- STAGE 9B
 1850 THOMPSONS ROAD, CLYDE NORTH
 DETAIL PLAN



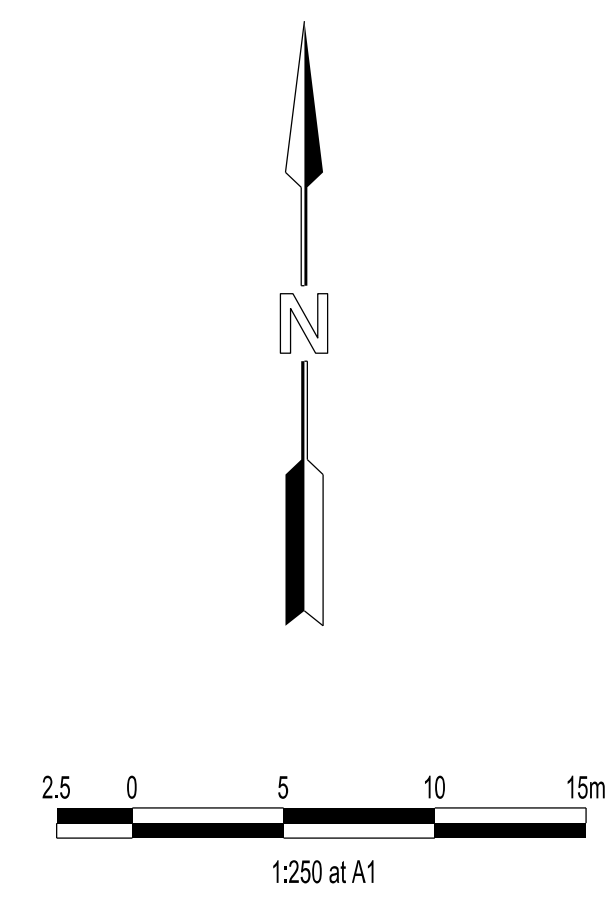
FELLOWSHIP STREET

FELLOWSHIP STREET



FELLOWSHIP STREET

FELLOWSHIP STREET



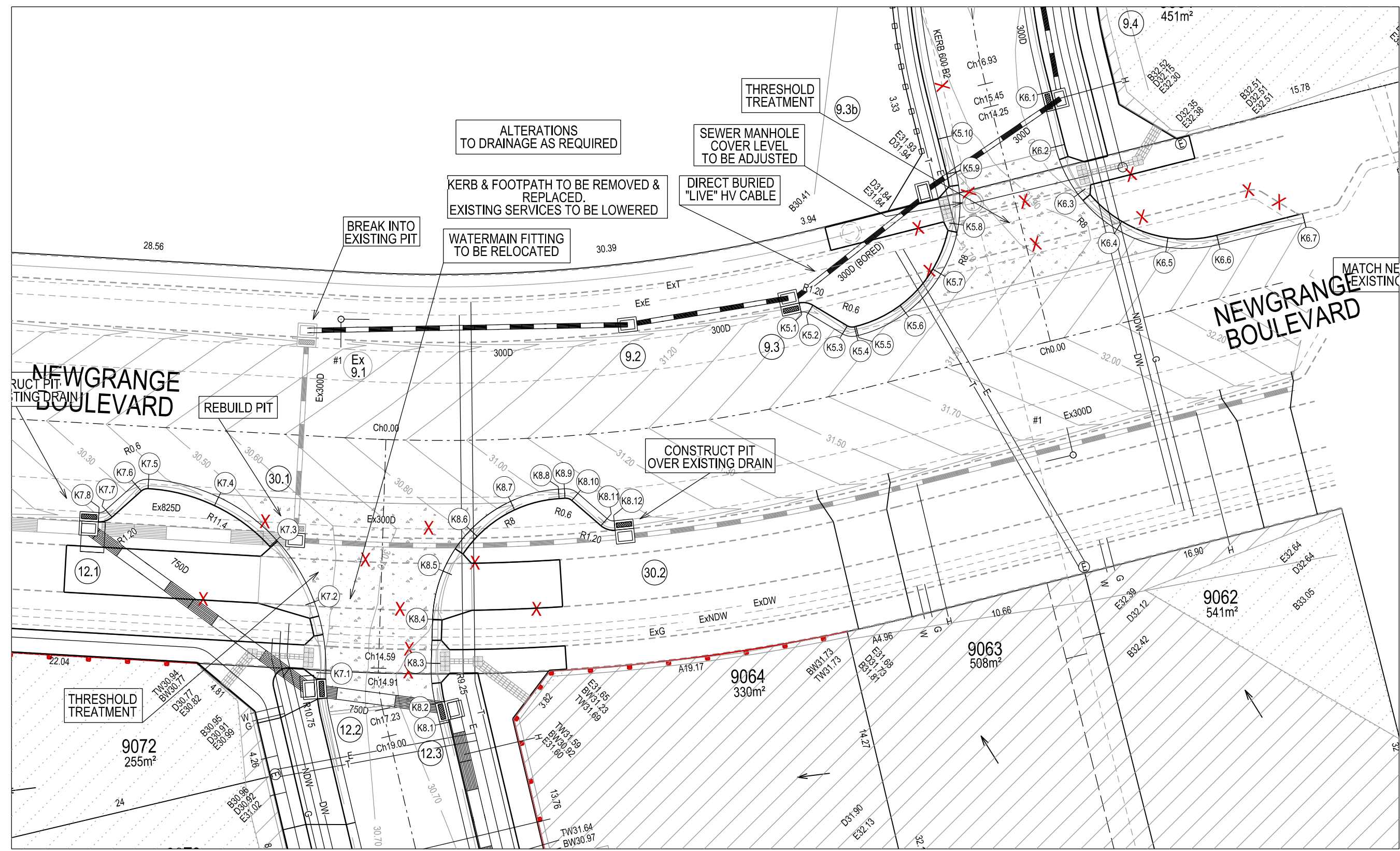
City of Casey

Approved By : Ivan Heng
 Plan No. : R5340
 File No. : SEng00271/19
 Planning Permit No. : PlnA00127/16.A
 Date : 03/12/2019

Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.

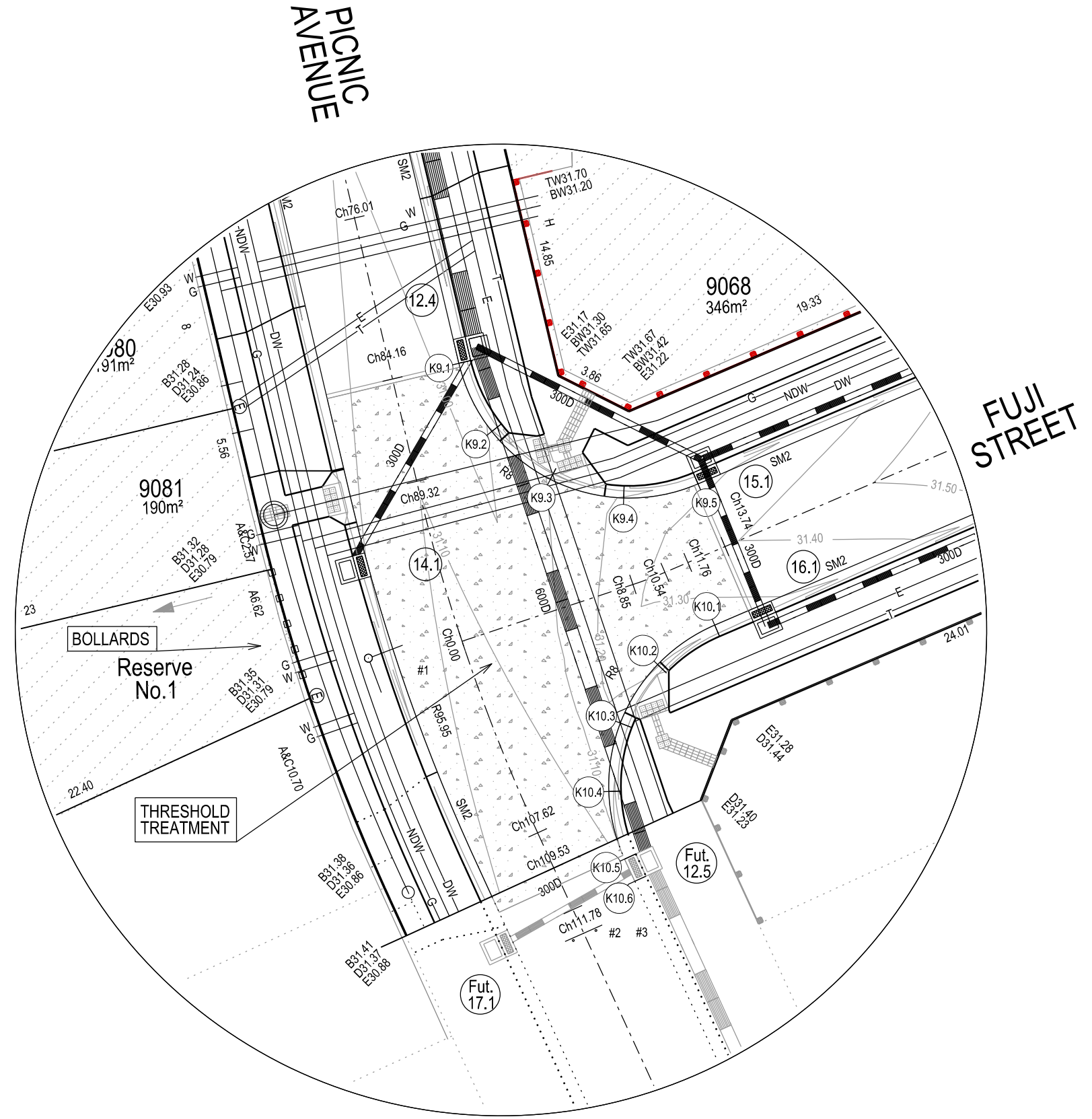
LEGEND

- FOOTPATH
- VEHICULAR CROSSOVER
- KERB AND CHANNEL
- ELECTRICITY CONDUITS
- GAS CONDUITS
- DRINKING WATER CONDUITS
- NON DRINKING WATER CONDUITS
- ELECTRICITY MAIN
- TELECOMMUNICATION MAIN
- GAS MAIN
- DRINKING WATER MAIN
- NON DRINKING WATER MAIN
- SEWER MAIN, MANHOLE AND MAINTENANCE SHAFT
- PROPOSED DRAINAGE, PIT, HOUSE DRAIN AND PROPERTY INLET
- EXISTING DRAINAGE AND PIT AND FUTURE DRAINAGE AND PIT
- MELBOURNE WATER SCHEME DRAINAGE AND PIT (COUNCIL ASSET)
- MELBOURNE WATER SCHEME DRAINAGE AND PIT (MELBOURNE WATER ASSET)
- DRAINAGE PIT NUMBER
- PROPOSED CUT AREAS
- PROPOSED FILL AREAS
- EXISTING SURFACE LEVEL
- DESIGN SURFACE LEVEL
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PICNIC AVENUE

NEWGRANGE BOULEVARD



PICNIC AVENUE

FUJI STREET

VERSION DETAILS:

REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
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J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

FILENAME:	P:\1137\1137_9B\IE12 - Design\6 - DGN\R05.dgn		
DRAWN:	ML	DATE:	MAY 2019
DESIGNED:	ML	DATE:	MAY 2019
AUTHORISED:	TS	DATE:	MAY 2019
SCALE:	AS SHOWN		
DATE PRINTED:	15/11/2019		



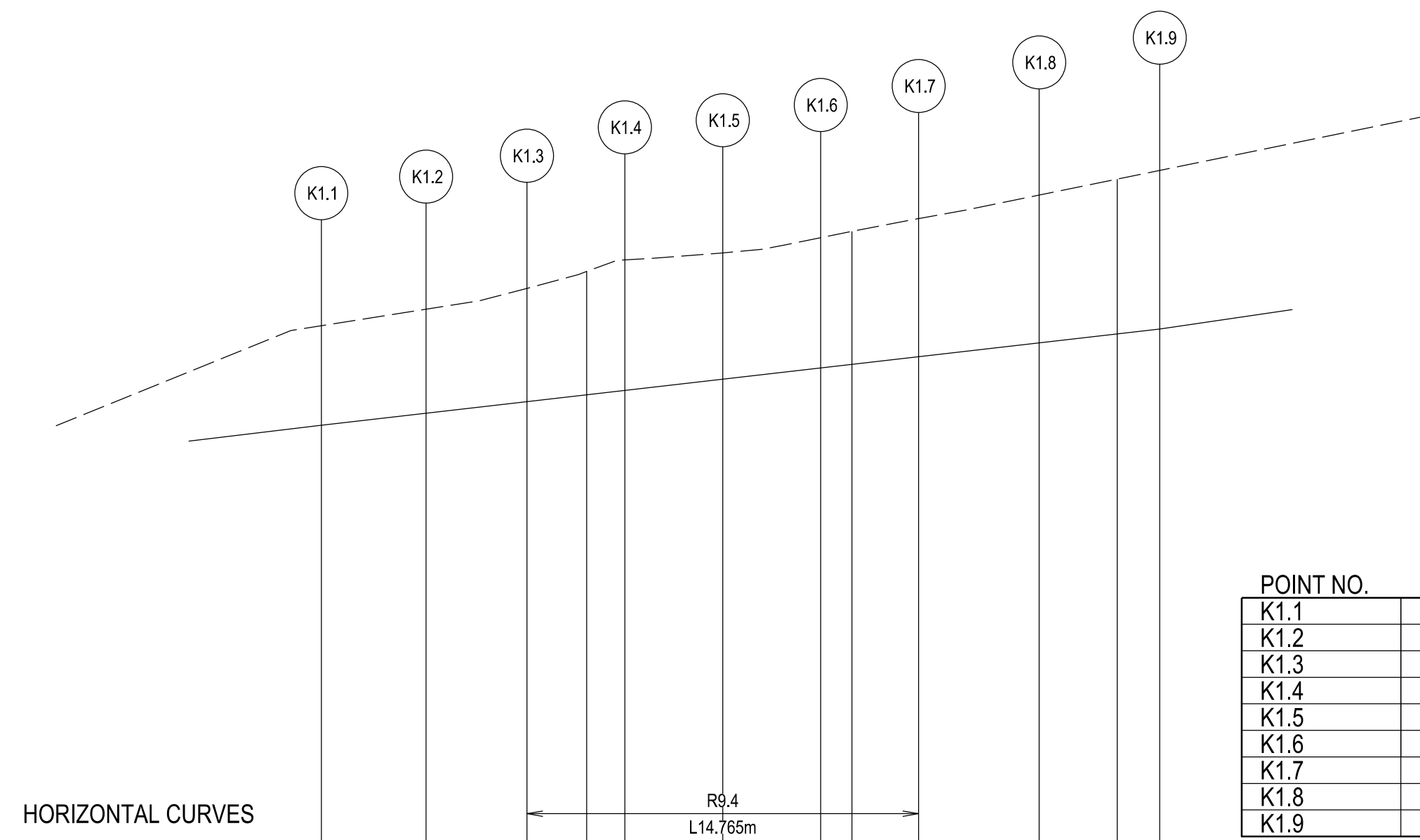
SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930
 www.charltondegg.com.au

COUNCIL:
CITY OF CASEY

TITLE:
**BROWN PROPERTY GROUP
 MERIDIAN ESTATE - STAGE 9B
 1850 THOMPSONS ROAD, CLYDE NORTH**

INTERSECTION DETAILS

DRG NO. 1137_9B/05	REV. K	SHEET 05 OF 21
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POINT NO.	EASTING	NORTHING	RL
K1.1	354763.832	5782488.746	32.364
K1.2	354764.294	5782492.668	32.409
K1.3	354764.738	5782496.442	32.453
K1.4	354765.869	5782499.931	32.496
K1.5	354768.25	5782502.722	32.538
K1.6	354771.516	5782504.388	32.58
K1.7	354775.173	5782504.678	32.623
K1.8	354779.686	5782504.147	32.675
K1.9	354784.198	5782503.615	32.727

HORIZONTAL CURVES

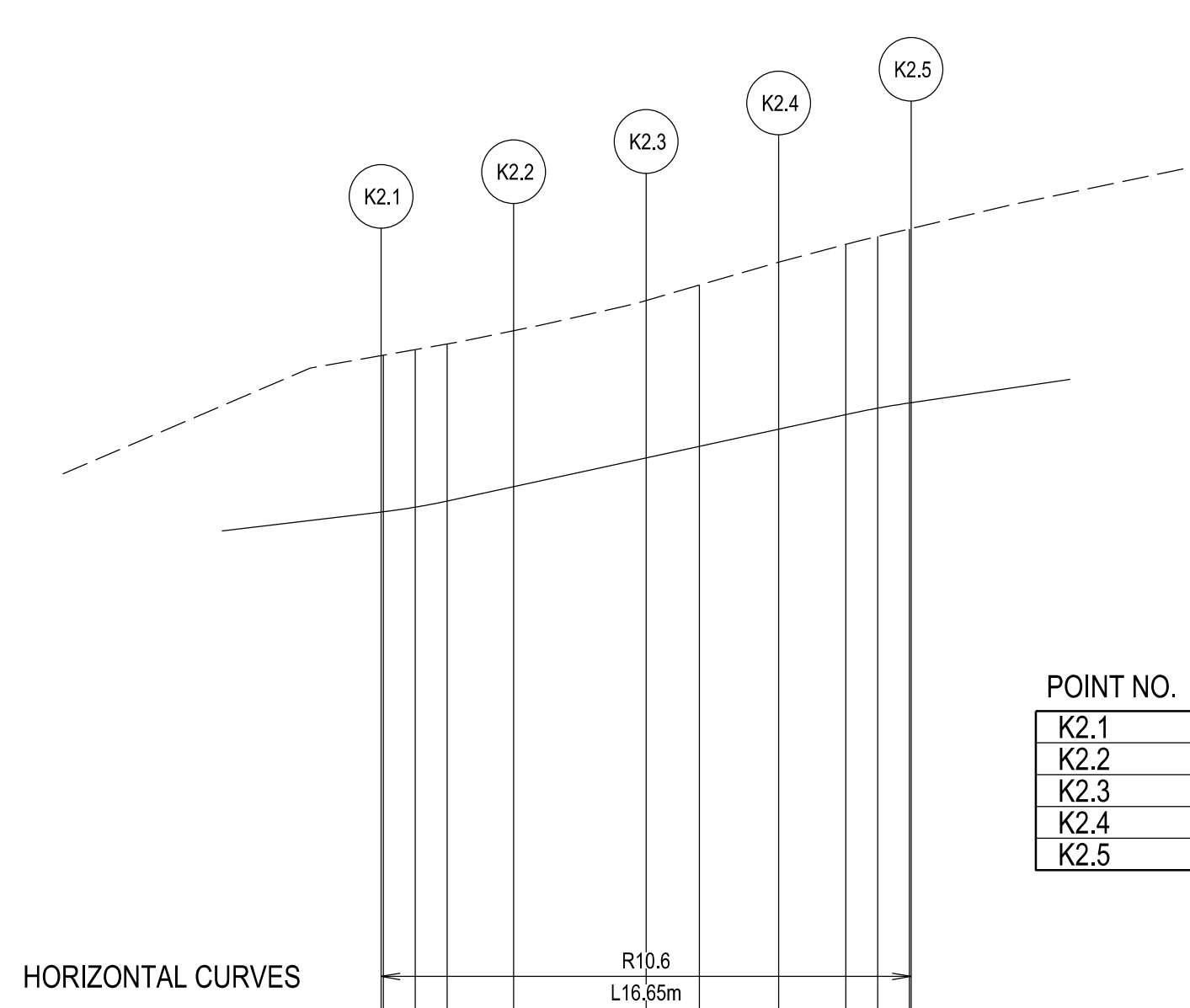
VERTICAL CURVES

VERTICAL GRADES

DATUM RL 30.000

	0.000	3.950	7.750	10.000	11.441	15.133	18.824	20.000	22.516	27.060	30.000	31.604
DESIGN	32.364	32.409	32.453	32.479	32.496	32.538	32.580	32.594	32.623	32.675	32.709	32.727
EXISTING SURFACE	32.740	32.802	32.881	32.945	32.988	33.014	33.072	33.095	33.143	33.232	33.292	33.325
CHAINAGE	0.000	3.950	7.750	10.000	11.441	15.133	18.824	20.000	22.516	27.060	30.000	31.604

K01 - LONGITUDINAL SECTION
 A1 HORZ SCALE 1:200
 A1 VERT SCALE 1:20



POINT NO.	EASTING	NORTHING	RL
K2.1	354770.337	5782487.98	32.359
K2.2	354771.613	5782491.914	32.439
K2.3	354774.296	5782495.06	32.529
K2.4	354777.981	5782496.94	32.62
K2.5	354782.102	5782497.267	32.702

HORIZONTAL CURVES

VERTICAL CURVES

VERTICAL GRADES

DATUM RL 30.000

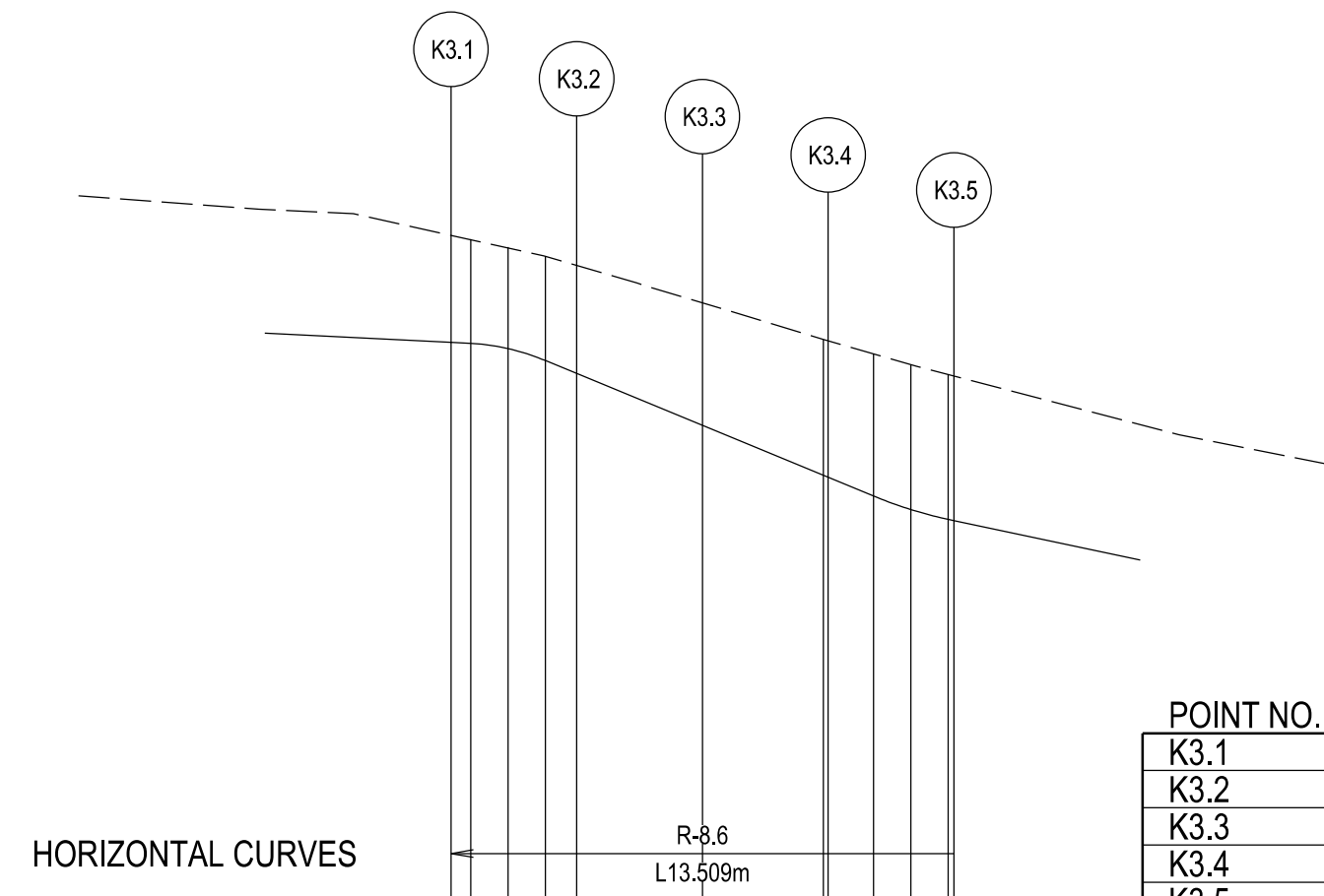
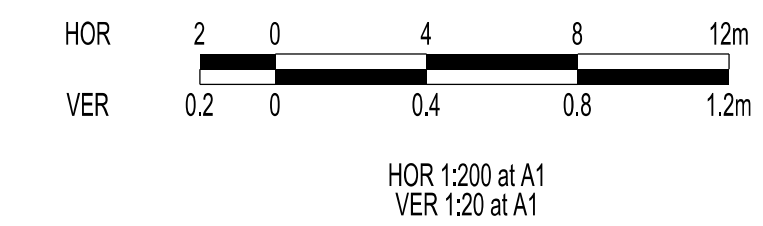
	0.000	0.071	1.071	2.071	4.163	8.325	10.000	12.488	14.599	15.599	16.660
DESIGN	32.359	32.360	32.374	32.394	32.439	32.529	32.566	32.620	32.665	32.685	32.702
EXISTING SURFACE	32.851	32.852	32.868	32.886	32.928	33.023	33.072	33.144	33.201	33.225	33.250
CHAINAGE	0.000	0.071	1.071	2.071	4.163	8.325	10.000	12.488	14.599	15.599	16.660

K02 - LONGITUDINAL SECTION
 A1 HORZ SCALE 1:200
 A1 VERT SCALE 1:20

City of Casey

Approved By : Ivan Heng
 Plan No. : **R5340**
 File No. : **SEng00271/19**
 Planning Permit No. : **PlnA00127/16.A**
 Date : **03/12/2019**

Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.



POINT NO.	EASTING	NORTHING	RL
K3.1	354863.654	5782538.528	33.274
K3.2	354866.367	5782540.5	33.19
K3.3	354868.121	5782543.36	33.05
K3.4	354868.646	5782546.675	32.911
K3.5	354867.863	5782549.937	32.795

HORIZONTAL CURVES

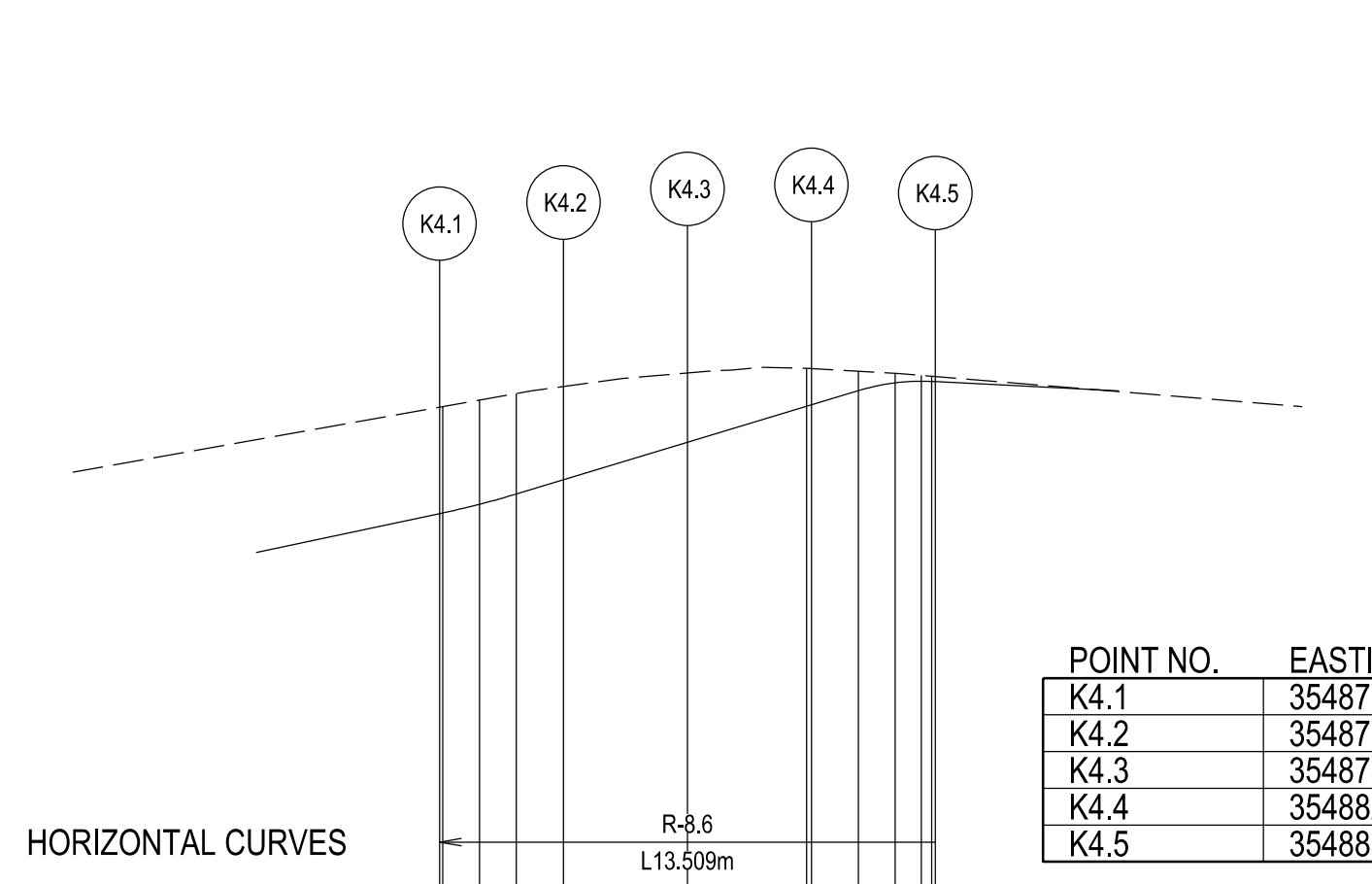
VERTICAL CURVES

VERTICAL GRADES

DATUM RL 31.000

	0.000	0.533	1.533	2.533	3.377	6.754	10.000	10.132	11.353	12.353	13.353	13.509
DESIGN	33.274	33.271	33.257	33.225	33.190	33.050	32.916	32.911	32.861	32.824	32.798	32.795
EXISTING SURFACE	33.561	33.551	33.529	33.505	33.482	33.380	33.281	33.277	33.241	33.213	33.197	33.183
CHAINAGE	0.000	0.533	1.533	2.533	3.377	6.754	10.000	10.132	11.353	12.353	13.353	13.509

K03 - LONGITUDINAL SECTION
 A1 HORZ SCALE 1:200
 A1 VERT SCALE 1:20



POINT NO.	EASTING	NORTHING	RL
K4.1	354873.947	5782552.742	32.795
K4.2	354875.919	5782550.028	32.887
K4.3	354878.78	5782548.275	32.989
K4.4	354882.095	5782547.75	33.091
K4.5	354885.357	5782548.533	33.154

HORIZONTAL CURVES

VERTICAL CURVES

VERTICAL GRADES

DATUM RL 31.000

	0.000	0.089	1.089	2.089	3.377	6.754	10.000	10.132	11.411	12.411	13.127	13.411
DESIGN	32.795	32.797	32.820	32.848	32.887	32.989	33.087	33.091	33.129	33.151	33.155	33.154
EXISTING SURFACE	33.085	33.086	33.105	33.122	33.142	33.179	33.191	33.193	33.177	33.171	33.169	33.168
CHAINAGE	0.000	0.089	1.089	2.089	3.377	6.754	10.000	10.132	11.411	12.411	13.127	13.411

K04 - LONGITUDINAL SECTION
 A1 HORZ SCALE 1:200
 A1 VERT SCALE 1:20

VERSION DETAILS:

REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

FILENAME: P:\1137\1137_9B/E2 - Design\6 - DGN\RO6.dgn

DRAWN: ML	DATE: MAY 2019	SCALE: AS SHOWN
DESIGNED: ML	DATE: MAY 2019	DATE PRINTED: 15/11/2019
AUTHORISED: TS	DATE: MAY 2019	

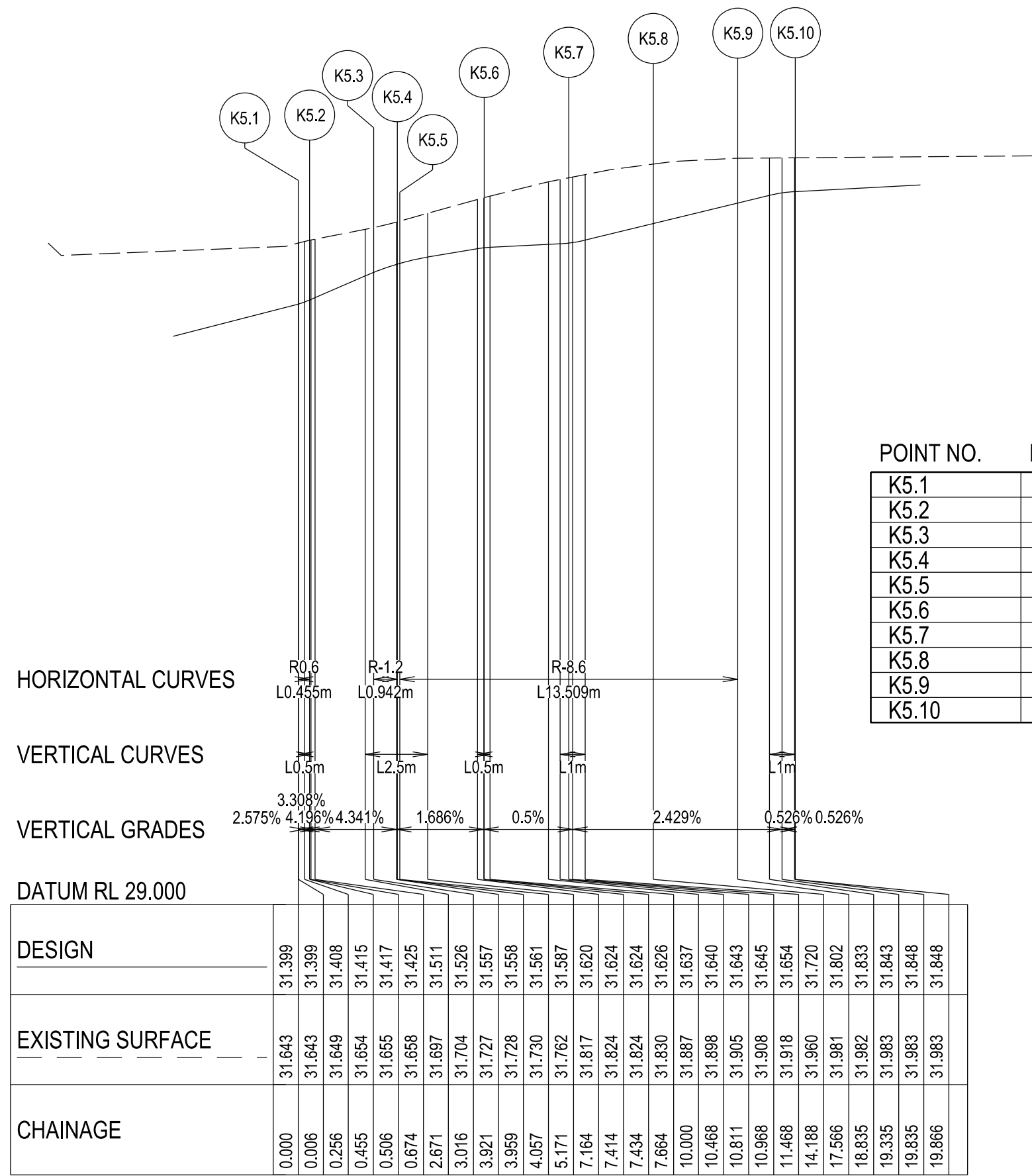
SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930
 www.charltondegg.com.au

COUNCIL: **CITY OF CASEY**

TITLE: **BROWN PROPERTY GROUP
 MERIDIAN ESTATE - STAGE 9B
 1850 THOMPSONS ROAD, CLYDE NORTH**

KERB RETURN LONGITUDINAL SECTIONS 1

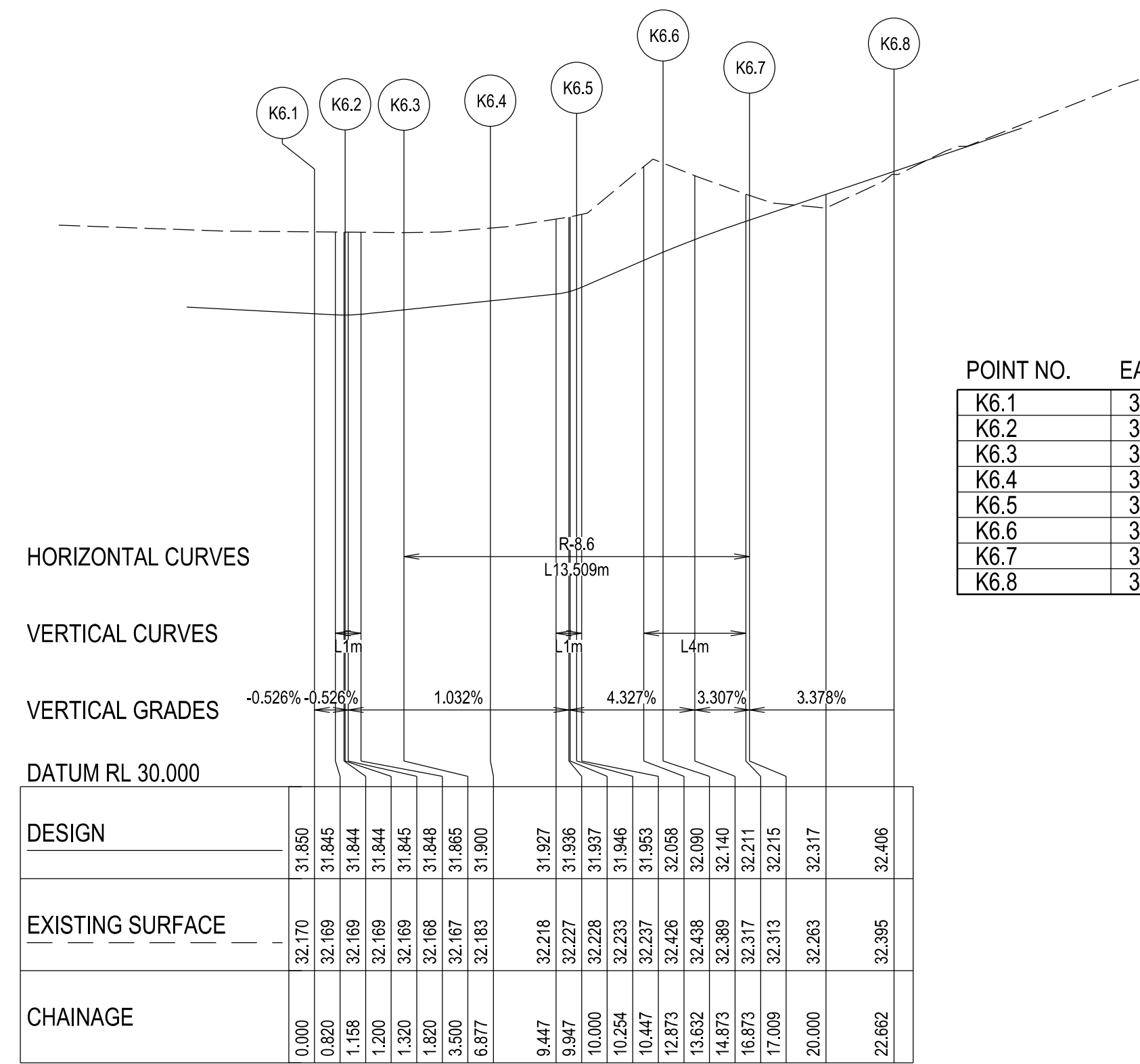
DRG NO. 1137_9B/06	REV. K	SHEET 06 OF 21
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POINT NO.	EASTING	NORTHING	RL
K5.1	354751.291	5782418.84	31.399
K5.2	354751.728	5782418.769	31.415
K5.3	354753.927	5782417.457	31.526
K5.4	354754.836	5782417.323	31.558
K5.5	354754.931	5782417.347	31.561
K5.6	354757.962	5782418.788	31.624
K5.7	354760.211	5782421.278	31.643
K5.8	354761.336	5782424.439	31.72
K5.9	354761.165	5782427.791	31.802
K5.10	354760.602	5782430.02	31.848

DESIGN	EXISTING SURFACE	CHAINAGE
31.399	31.643	0.000
31.399	31.643	0.006
31.408	31.649	0.256
31.415	31.654	0.465
31.417	31.655	0.506
31.425	31.658	0.674
31.511	31.697	2.671
31.526	31.704	3.016
31.557	31.727	3.821
31.558	31.728	3.959
31.561	31.730	4.057
31.620	31.762	5.171
31.624	31.817	7.164
31.626	31.824	7.414
31.626	31.830	7.684
31.640	31.888	10.000
31.643	31.905	10.468
31.645	31.908	10.968
31.654	31.918	11.468
31.72	31.960	14.188
31.802	31.981	17.566
31.833	31.992	18.835
31.843	31.993	19.335
31.848	31.993	19.835
31.848	31.993	19.866

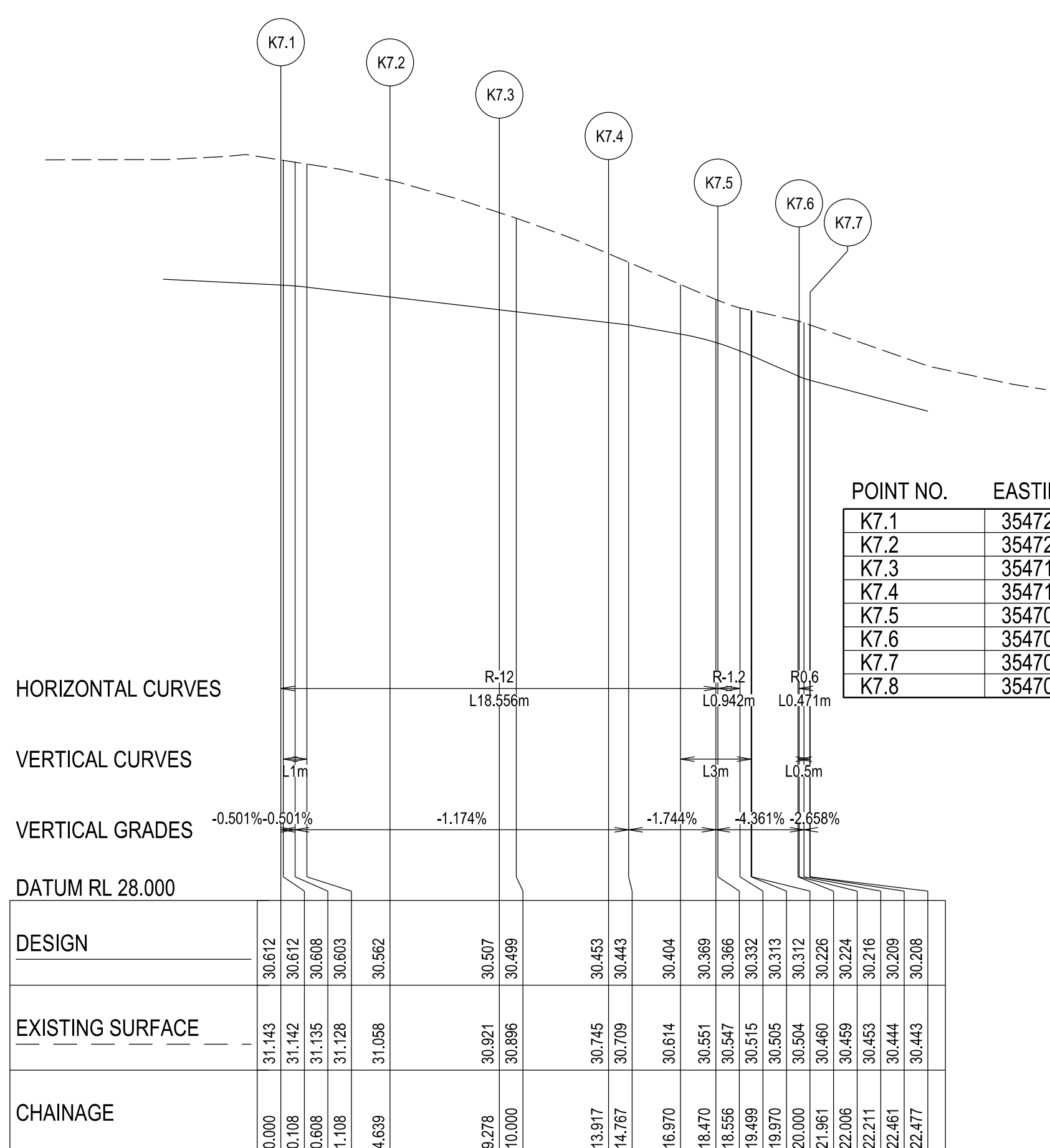
K05 - LONGITUDINAL SECTION
 A1 HORZ SCALE 1:200
 A1 VERT SCALE 1:20



POINT NO.	EASTING	NORTHING	RL
K6.1	354766.659	5782432.786	31.85
K6.2	354766.953	5782431.624	31.844
K6.3	354767.516	5782429.394	31.865
K6.4	354768.956	5782426.363	31.9
K6.5	354771.446	5782424.114	31.946
K6.6	354774.608	5782422.989	32.09
K6.7	354777.959	5782423.16	32.216
K6.8	354783.439	5782424.543	32.406

DESIGN	EXISTING SURFACE	CHAINAGE
31.850	32.170	0.000
31.845	32.169	0.820
31.844	32.169	1.158
31.844	32.169	1.200
31.845	32.169	1.320
31.848	1.820	3.580
31.865	32.167	6.877
31.900	32.183	9.447
31.927	32.218	9.947
31.936	32.227	10.000
31.937	32.228	10.254
31.946	32.233	10.447
31.953	32.237	10.473
32.058	32.426	12.873
32.090	32.438	13.632
32.140	32.438	14.873
32.211	32.317	16.873
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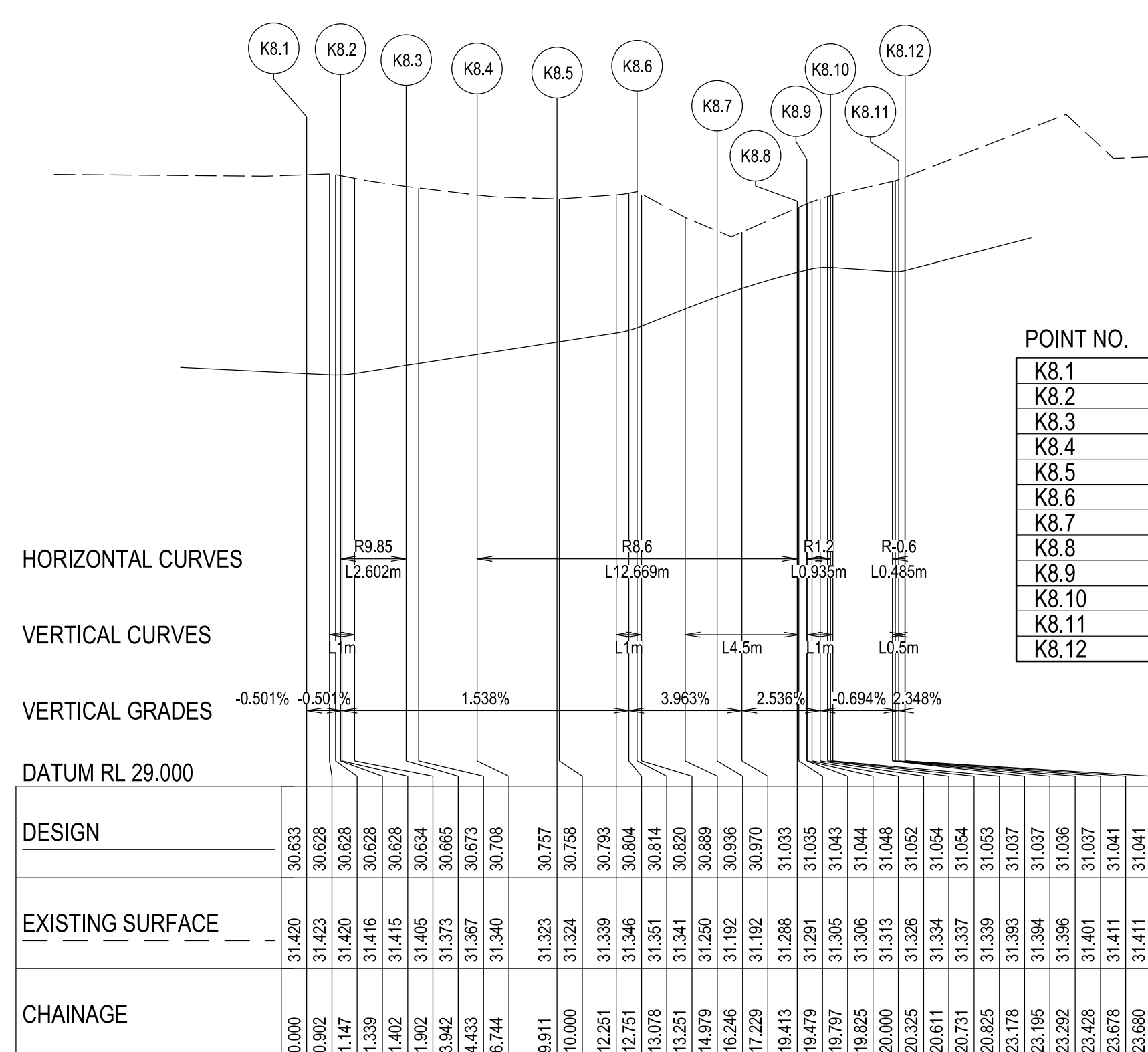
K06 - LONGITUDINAL SECTION
 A1 HORZ SCALE 1:200
 A1 VERT SCALE 1:20



POINT NO.	EASTING	NORTHING	RL
K7.1	354720.949	5782395.812	30.612
K7.2	354720.21	5782400.362	30.562
K7.3	354717.809	5782404.298	30.507
K7.4	354714.102	5782407.038	30.453
K7.5	354709.635	5782408.179	30.366
K7.6	354708.768	5782407.876	30.332
K7.7	354706.898	5782406.207	30.224
K7.8	354706.465	5782406.055	30.208

DESIGN	EXISTING SURFACE	CHAINAGE
30.612	31.143	0.000
30.612	31.142	0.108
30.608	31.135	0.608
30.603	31.128	1.108
30.582	31.058	4.639
30.507	30.921	9.278
30.469	30.896	10.000
30.453	30.745	13.917
30.443	30.709	14.767
30.404	30.614	16.970
30.366	30.547	18.470
30.332	30.515	18.556
30.313	30.505	19.699
30.312	30.504	19.970
30.226	30.460	20.000
30.224	30.453	21.961
30.216	30.444	22.211
30.209	30.444	22.461
30.208	30.443	22.477

K07 - LONGITUDINAL SECTION
 A1 HORZ SCALE 1:200
 A1 VERT SCALE 1:20

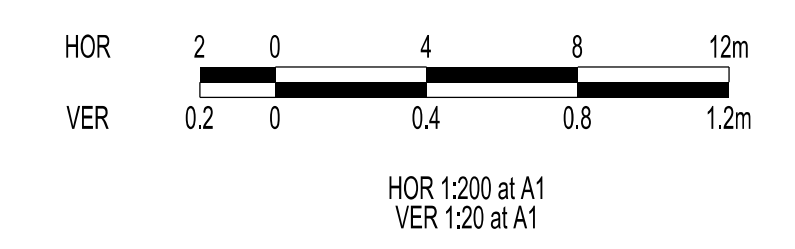


POINT NO.	EASTING	NORTHING	RL
K8.1	354728.239	5782392.555	30.633
K8.2	354727.932	5782393.857	30.628
K8.3	354727.673	5782396.44	30.665
K8.4	354727.763	5782399.24	30.708
K8.5	354728.439	5782402.316	30.757
K8.6	354730.177	5782404.942	30.814
K8.7	354732.745	5782406.767	30.936
K8.8	354735.796	5782407.545	31.033
K8.9	354736.18	5782407.57	31.043
K8.10	354737.043	5782407.28	31.054
K8.11	354738.906	5782405.667	31.037
K8.12	354739.354	5782405.523	31.041

DESIGN	EXISTING SURFACE	CHAINAGE
30.633	31.420	0.000
30.628	31.423	0.902
30.628	31.420	1.147
30.628	31.416	1.339
30.628	31.415	1.402
30.634	31.405	1.902
30.665	31.373	3.942
30.673	31.367	4.433
30.708	31.340	6.744
30.757	31.323	9.911
30.793	31.324	10.000
30.804	31.339	12.251
30.804	31.346	12.751
30.814	31.351	13.078
30.820	31.341	13.251
30.889	31.250	14.979
30.936	31.192	16.246
30.970	31.192	17.229
31.033	31.288	19.413
31.035	31.291	19.479
31.043	31.291	19.797
31.044	31.295	19.825
31.048	31.306	20.000
31.054	31.326	20.325
31.054	31.334	20.611
31.063	31.337	20.731
31.063	31.339	20.825
31.067	31.363	23.178
31.067	31.364	23.195
31.068	31.366	23.282
31.037	31.401	23.428
31.041	31.411	23.678
31.041	31.411	23.680

K08 - LONGITUDINAL SECTION
 A1 HORZ SCALE 1:200
 A1 VERT SCALE 1:20

City of Casey
 Approved By : Ivan Heng
 Plan No. : R5340
 File No. : SEng00271/19
 Planning Permit No. : PlnA00127/16.A
 Date : 03/12/2019
 Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.



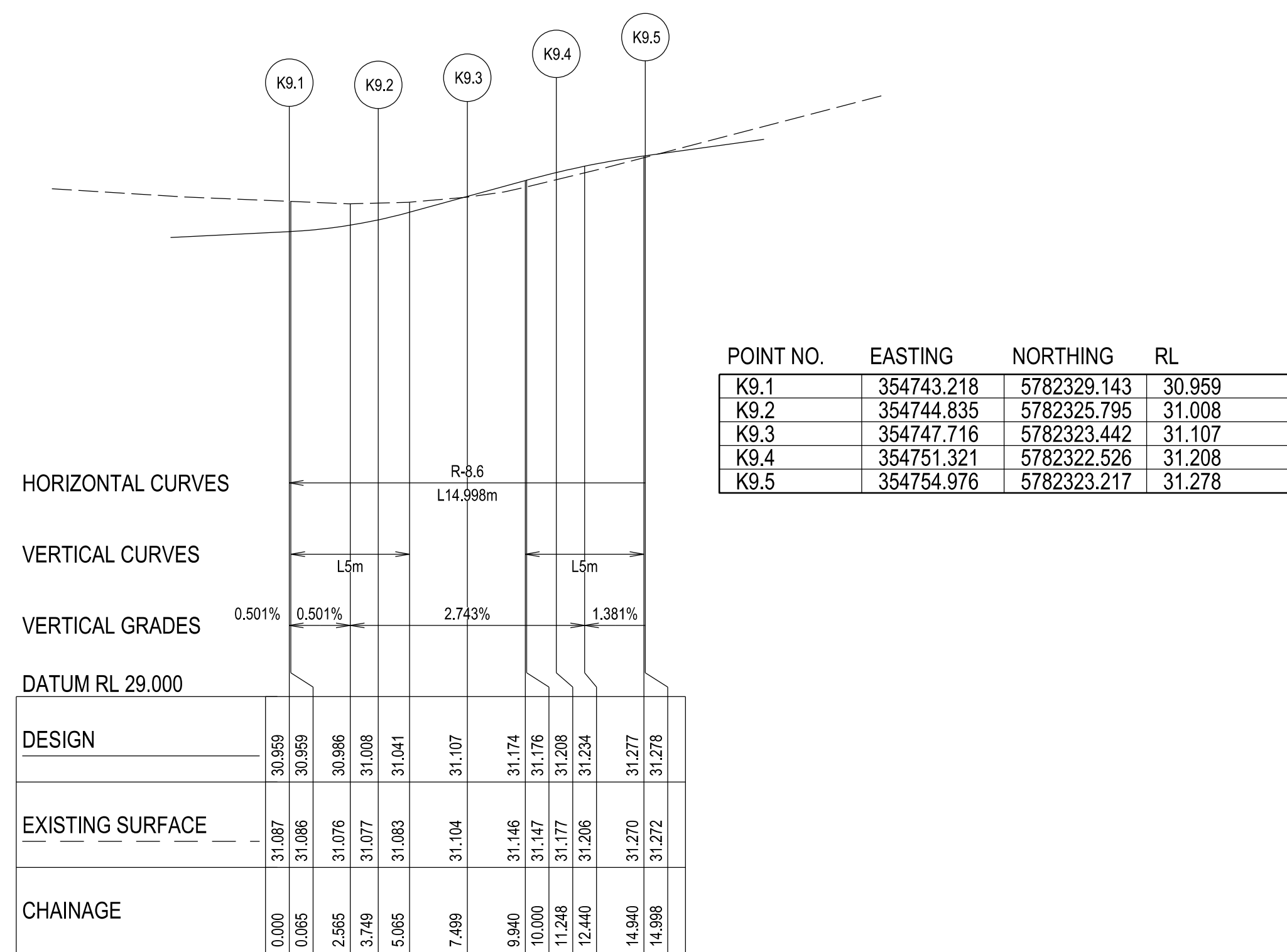
VERSION DETAILS:

REV	DATE	DESCRIPTION	STATUS
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F	19/08/19	POS CHANGES	PRELIMINARY
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J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

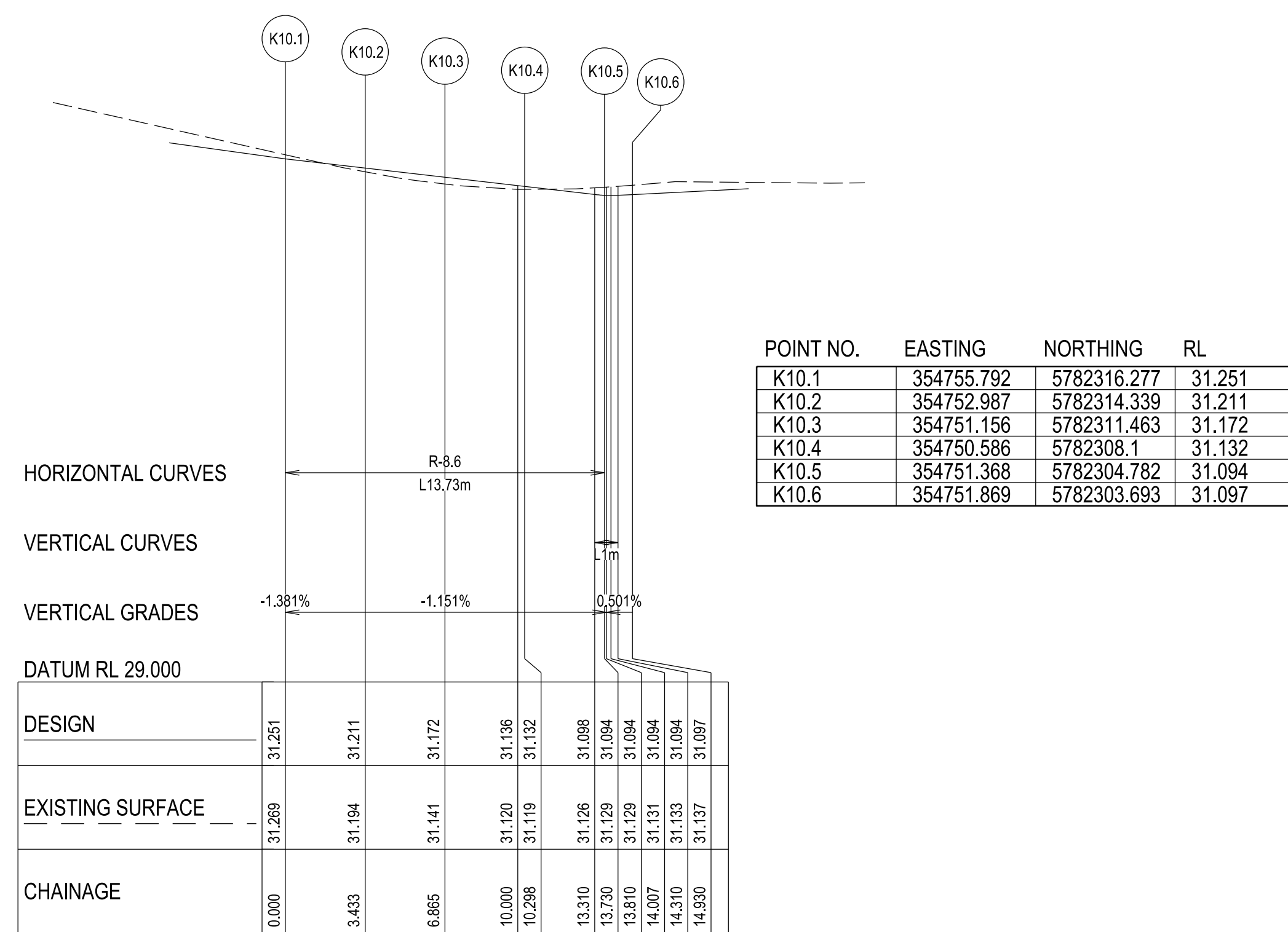
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DRAWN:	ML	DATE:	MAY 2019
DESIGNED:	ML	DATE:	MAY 2019
AUTHORISED:	TS	DATE:	MAY 2019
		SCALE:	AS SHOWN
		DATE PRINTED:	15/11/2019

CHARLTON DEGG
 LAND DEVELOPMENT CONSULTANTS
 SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930
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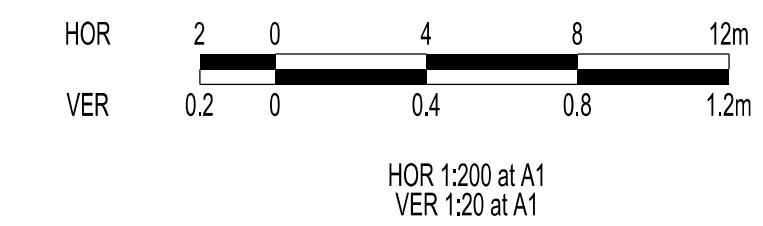
COUNCIL:	CITY OF CASEY	
TITLE:	BROWN PROPERTY GROUP MERIDIAN ESTATE - STAGE 9B 1850 THOMPSONS ROAD, CLYDE NORTH	
	KERB RETURN LONGITUDINAL SECTIONS 2	
DRG NO.	REV.	SHEET OF 21
1137_9B/07	K	



K09 - LONGITUDINAL SECTION
 A1 HORZ SCALE 1:200
 A1 VERT SCALE 1:20



K10 - LONGITUDINAL SECTION
 A1 HORZ SCALE 1:200
 A1 VERT SCALE 1:20



REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

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DRAWN:	ML	DATE:	MAY 2019
DESIGNED:	ML	DATE:	MAY 2019
AUTHORISED:	TS	DATE:	MAY 2019

City of Casey
 Approved By : Ivan Heng
 Plan No. : **R5340**
 File No. : **SEng00271/19**
 Planning Permit No. : **PlnA00127/16.A**
 Date : **03/12/2019**
 Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.

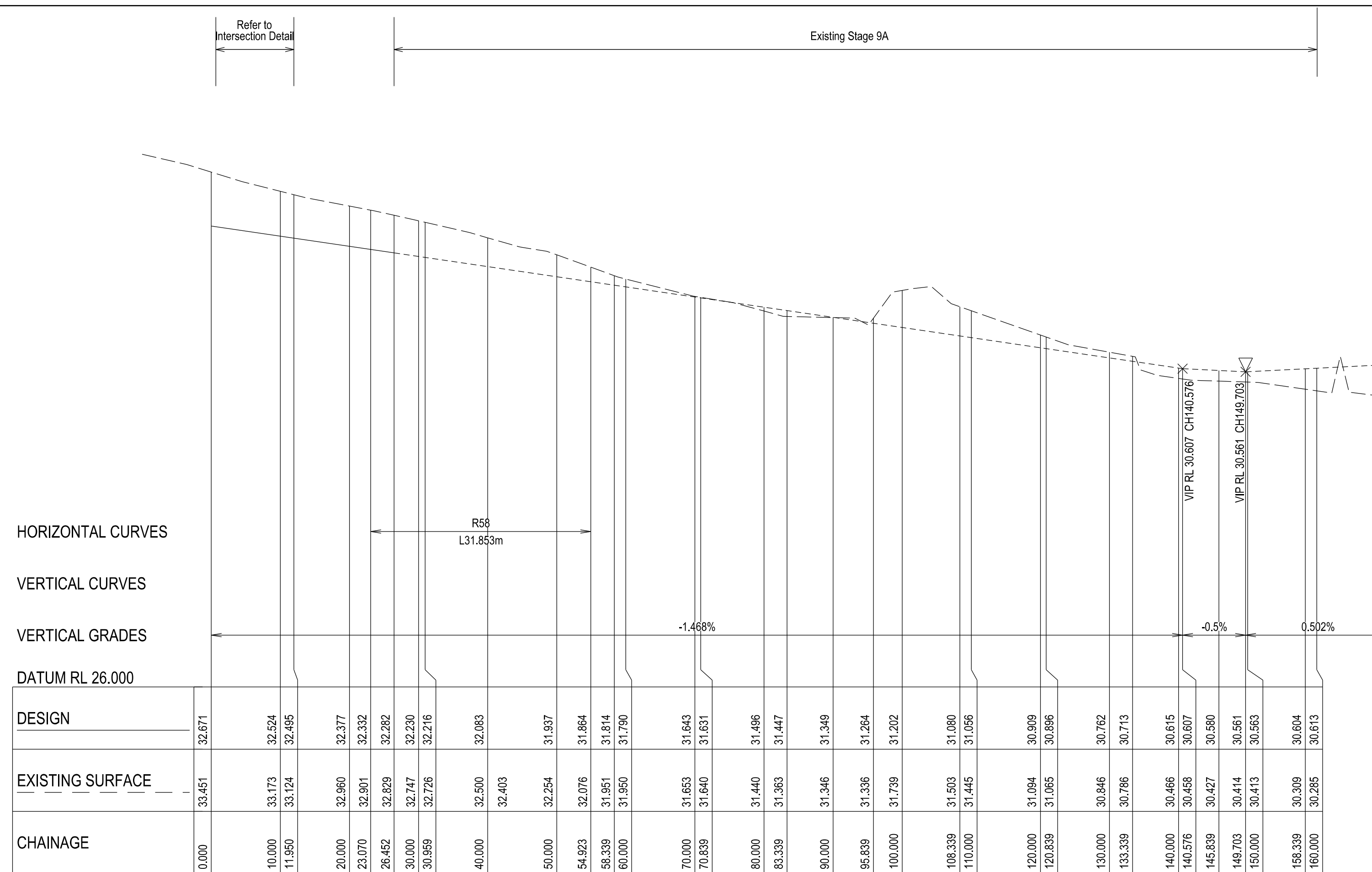
SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930
 www.charltondegg.com.au

COUNCIL:
CITY OF CASEY

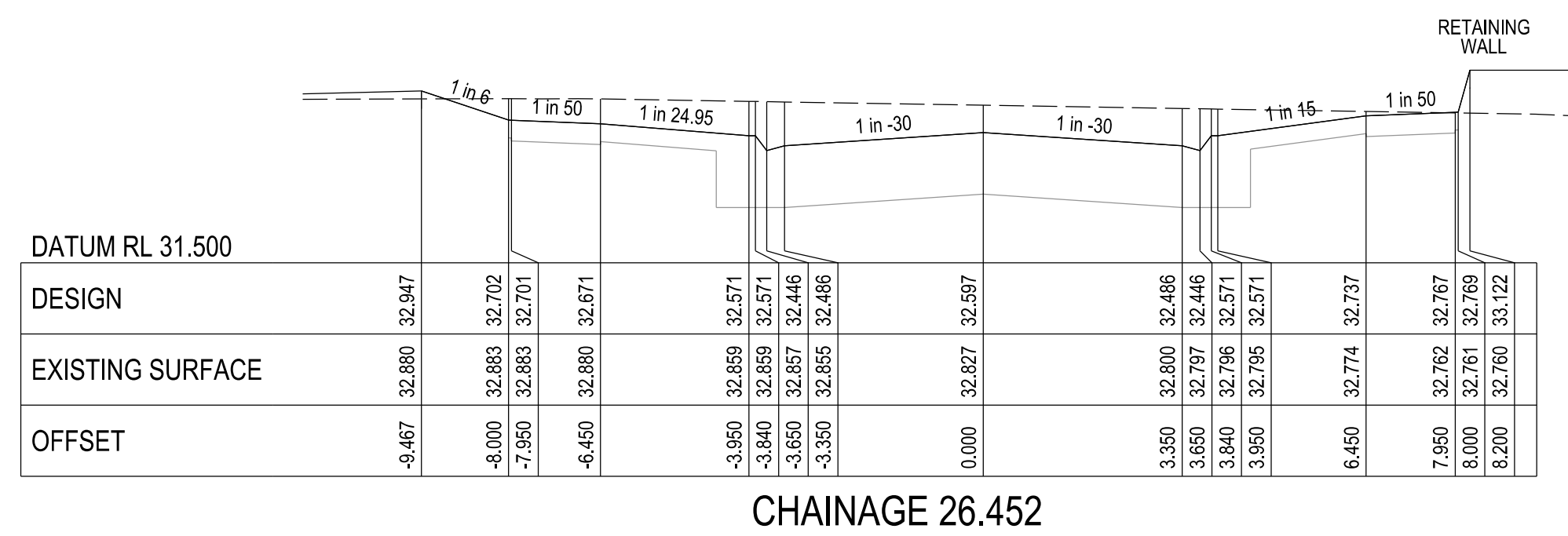
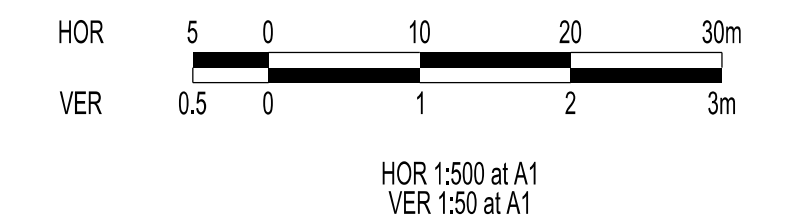
TITLE:
**BROWN PROPERTY GROUP
 MERIDIAN ESTATE - STAGE 9B
 1850 THOMPSONS ROAD, CLYDE NORTH**

KERB RETURN LONGITUDINAL SECTIONS 3

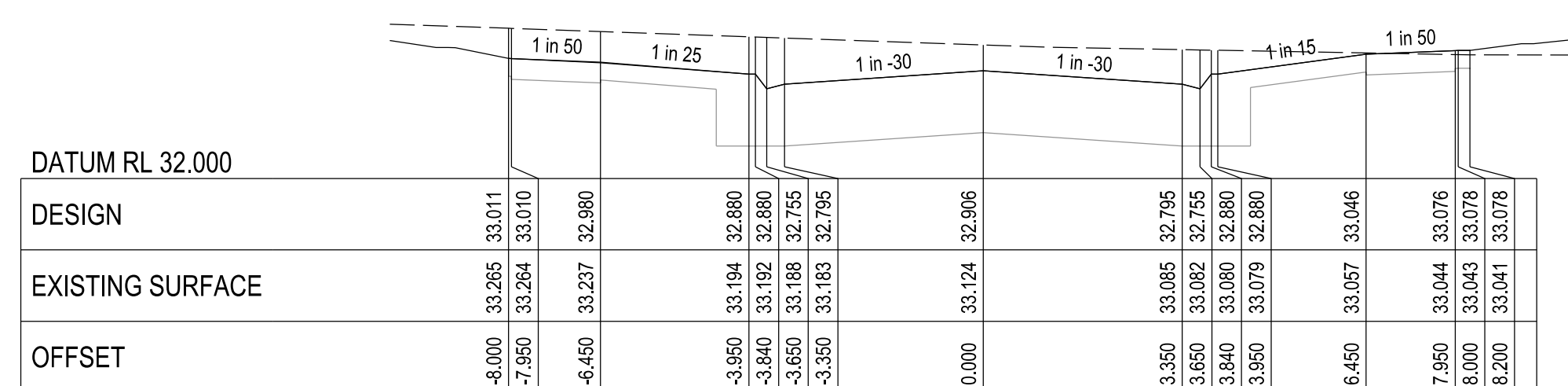
DRG NO. 1137_9B/08	REV. K	SHEET 08 OF 21
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STATURE AVENUE - LONGITUDINAL SECTION
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A1 VERT SCALE 1:50

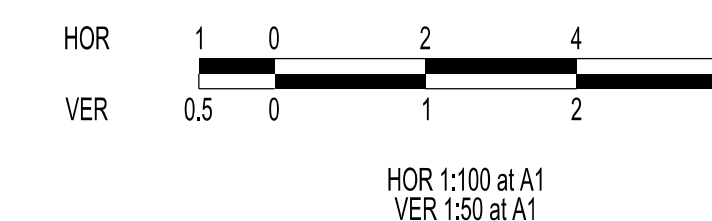


CHAINAGE 26.452



CHAINAGE 11.95

City of Casey
Approved By : Ivan Heng
Plan No. : R5340
File No. : SEng00271/19
Planning Permit No. : PlnA00127/16.A
Date : 03/12/2019
Approval Subject to : -
- An EMP and TMP will need to be submitted and approved prior to commencement of works.
- Relevant services authorities notification and approval.



REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

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DESIGNED: ML	DATE: MAY 2019	DATE PRINTED: 15/11/2019
AUTHORISED: TS	DATE: MAY 2019	

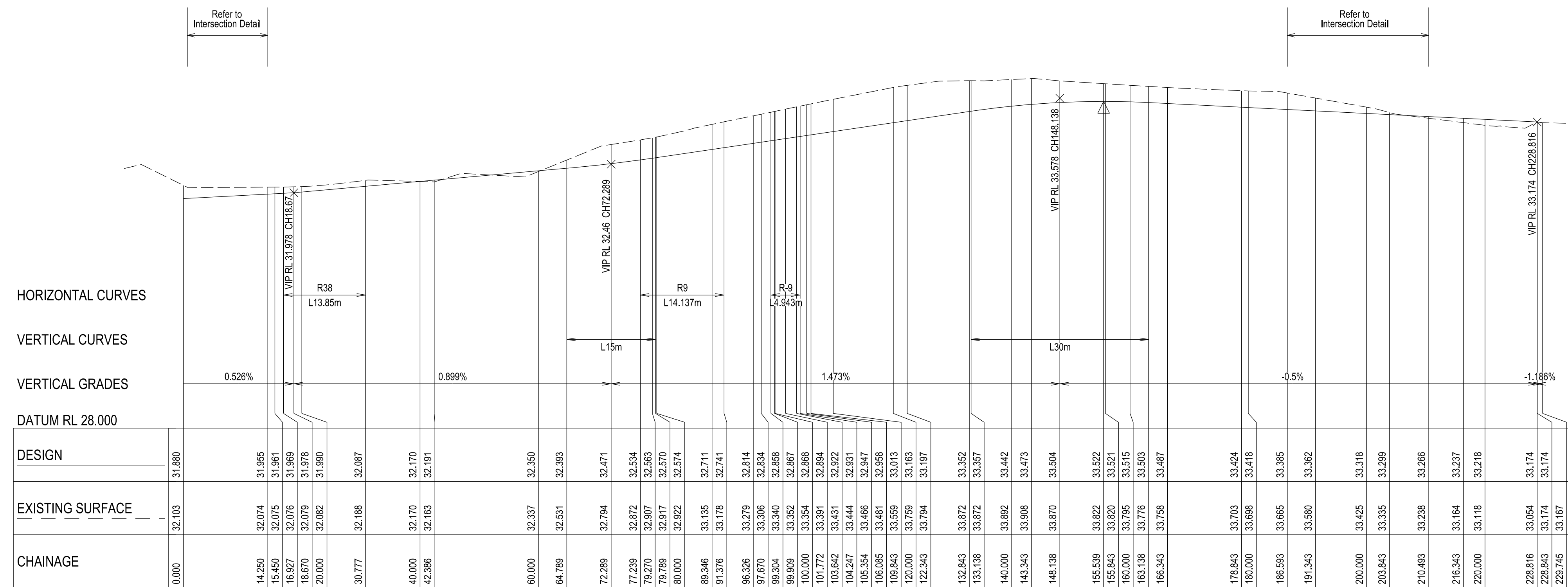
CHARLTON DEGG
LAND DEVELOPMENT CONSULTANTS
SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930
www.charltondegg.com.au

COUNCIL: CITY OF CASEY

TITLE: BROWN PROPERTY GROUP
MERIDIAN ESTATE - STAGE 9B
1850 THOMPSONS ROAD, CLYDE NORTH

STATURE AVENUE LONGITUDINAL AND CROSS SECTIONS

DRG NO. 1137_9B/R09	REV. K	SHEET 09 OF 21
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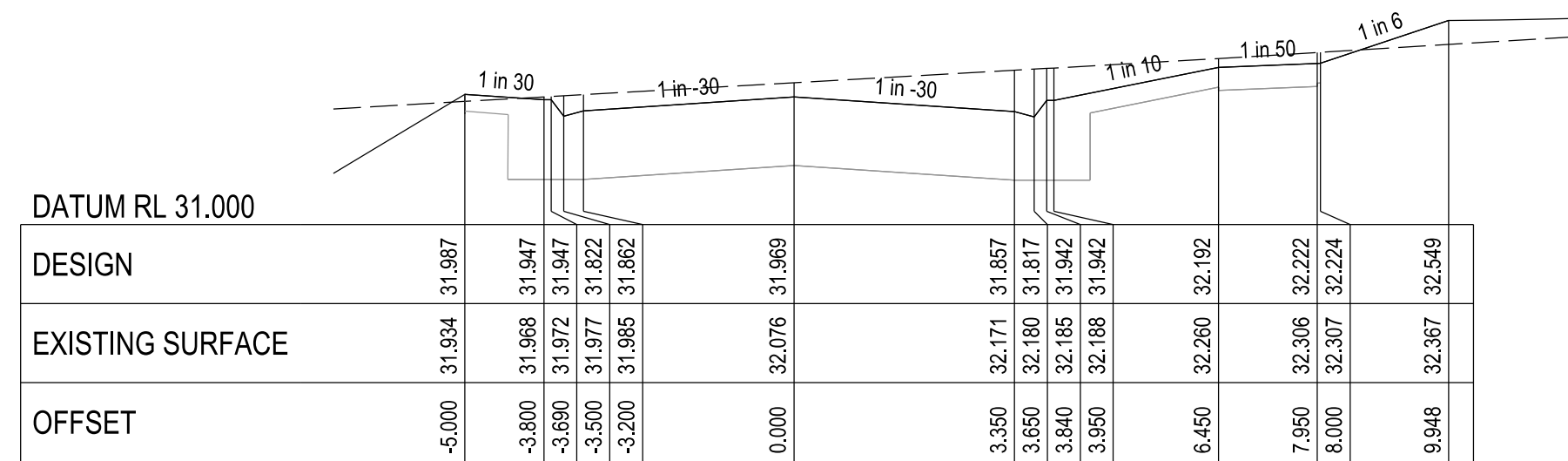
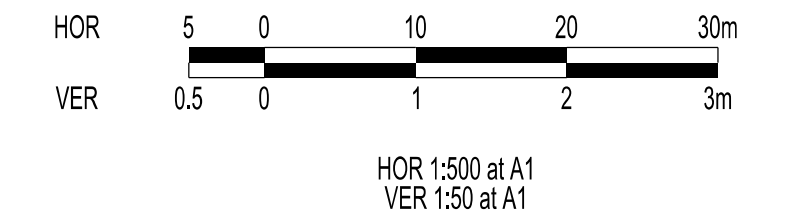


FELLOWSHIP STREET - LONGITUDINAL SECTION
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A1 VERT SCALE 1:50

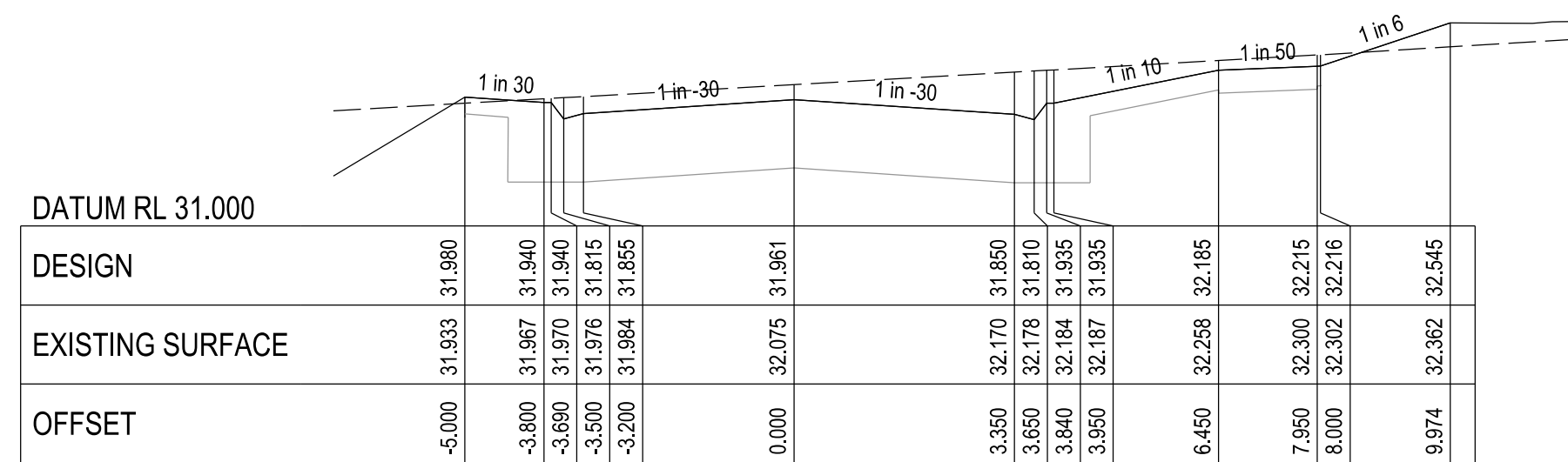
City of Casey

Approved By : Ivan Heng
Plan No. : R5340
File No. : SEng00271/19
Planning Permit No. : PinA00127/16.A
Date : 03/12/2019

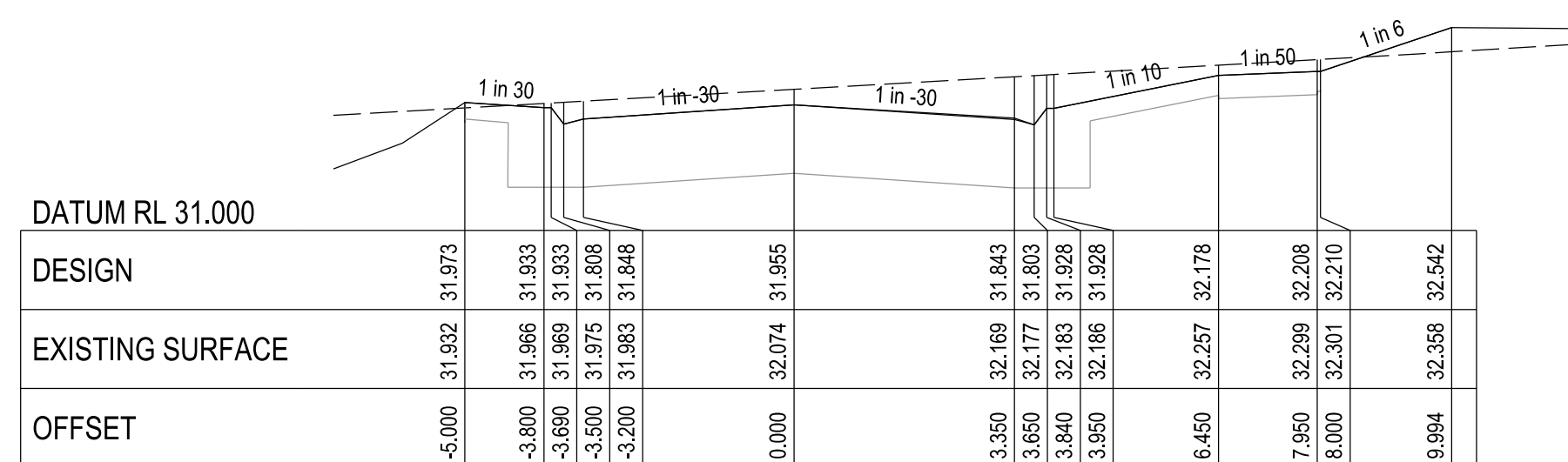
Approval Subject to : -
- An EMP and TMP will need to be submitted and approved prior to commencement of works.
- Relevant services authorities notification and approval.



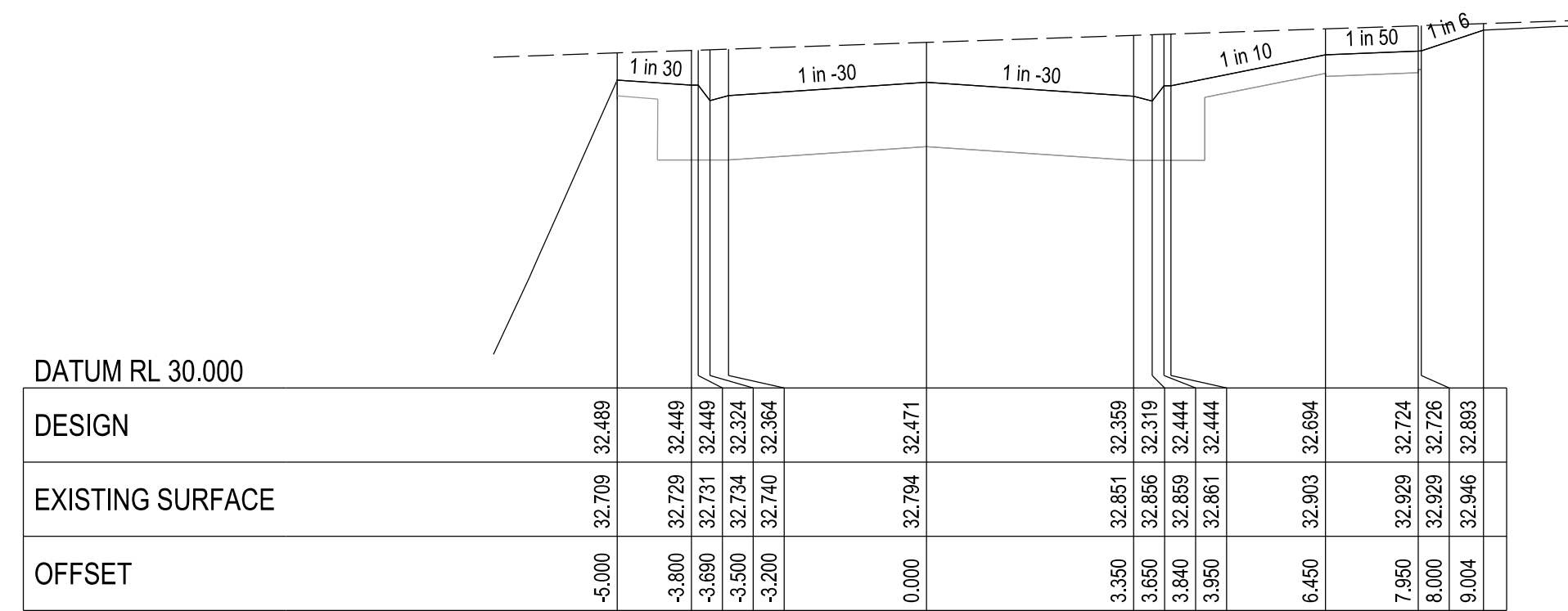
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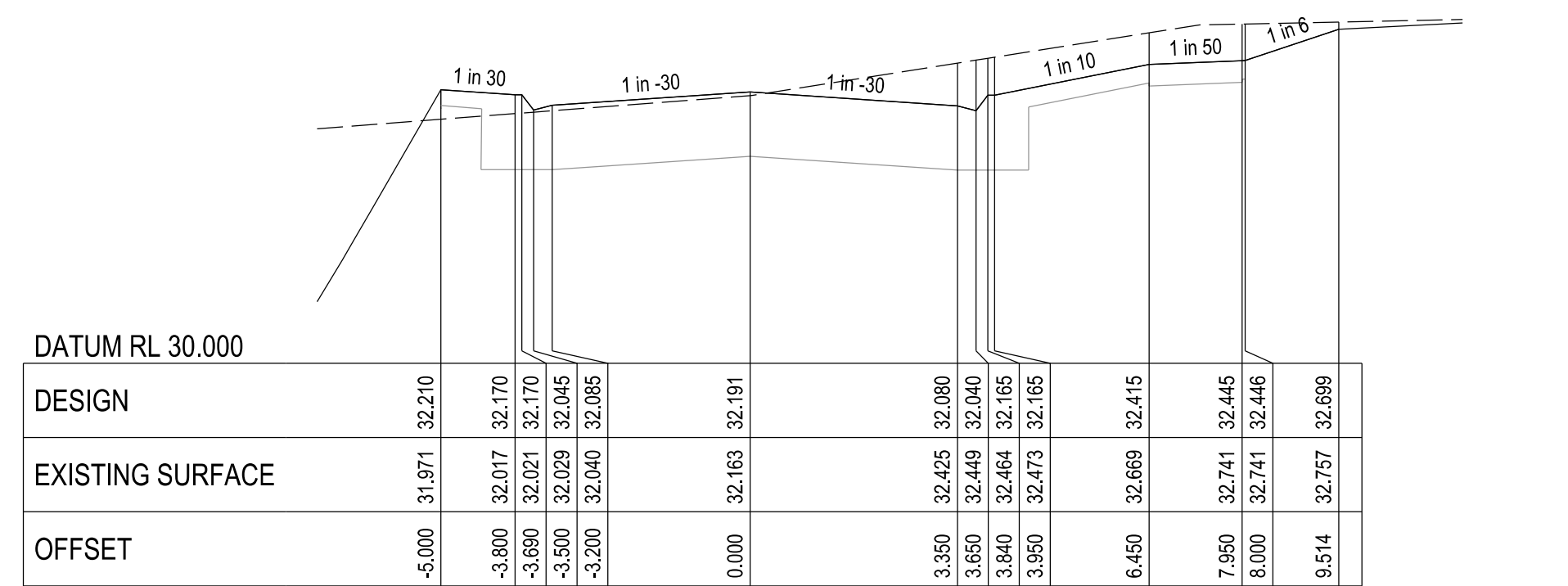
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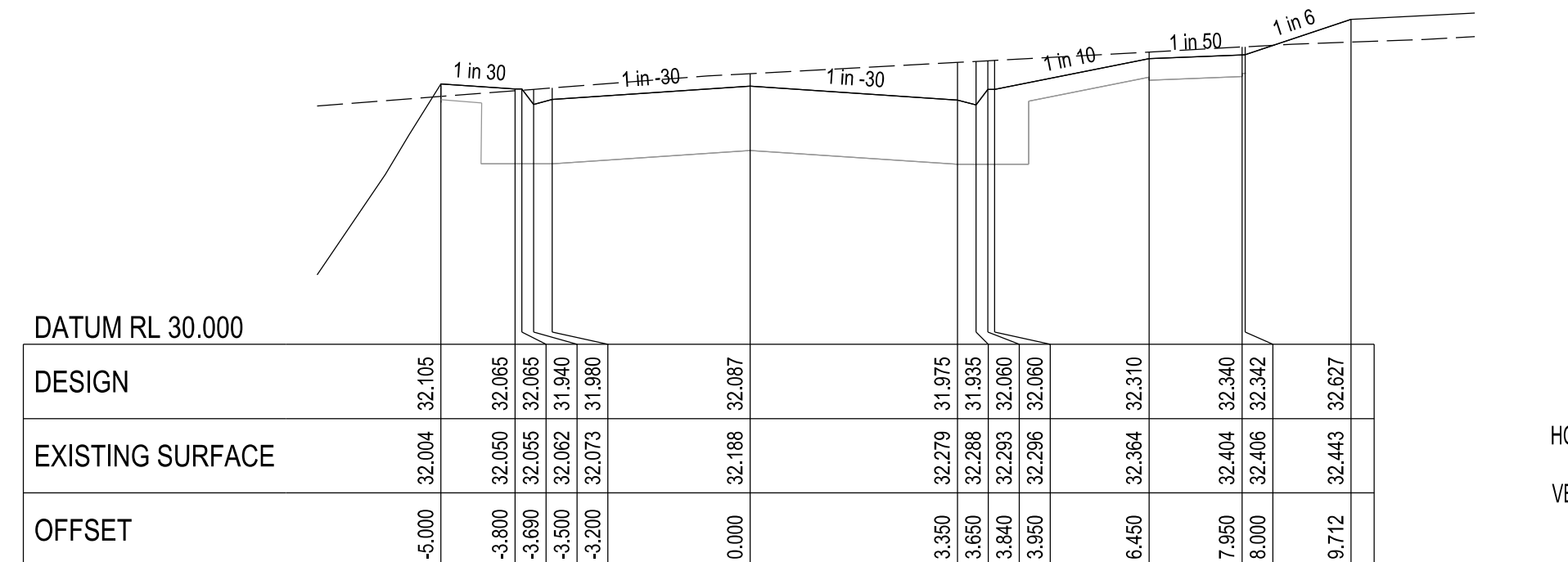
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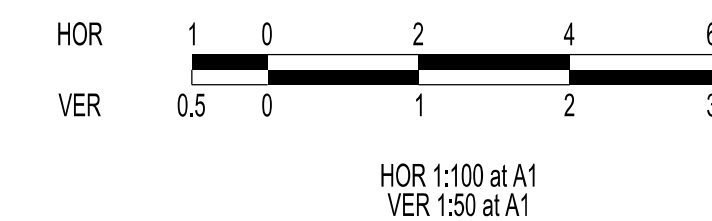
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CHAINAGE 42.386



CHAINAGE 30.777



VERSION DETAILS:

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F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

FILENAME: P:\1137\1137_9B\12 - Design\6 - DGN\R10.dgn

DRAWN: ML	DATE: MAY 2019	SCALE: AS SHOWN
DESIGNED: ML	DATE: MAY 2019	DATE PRINTED: 15/11/2019
AUTHORISED: TS	DATE: MAY 2019	

CHARLTON DEGG
LAND DEVELOPMENT CONSULTANTS

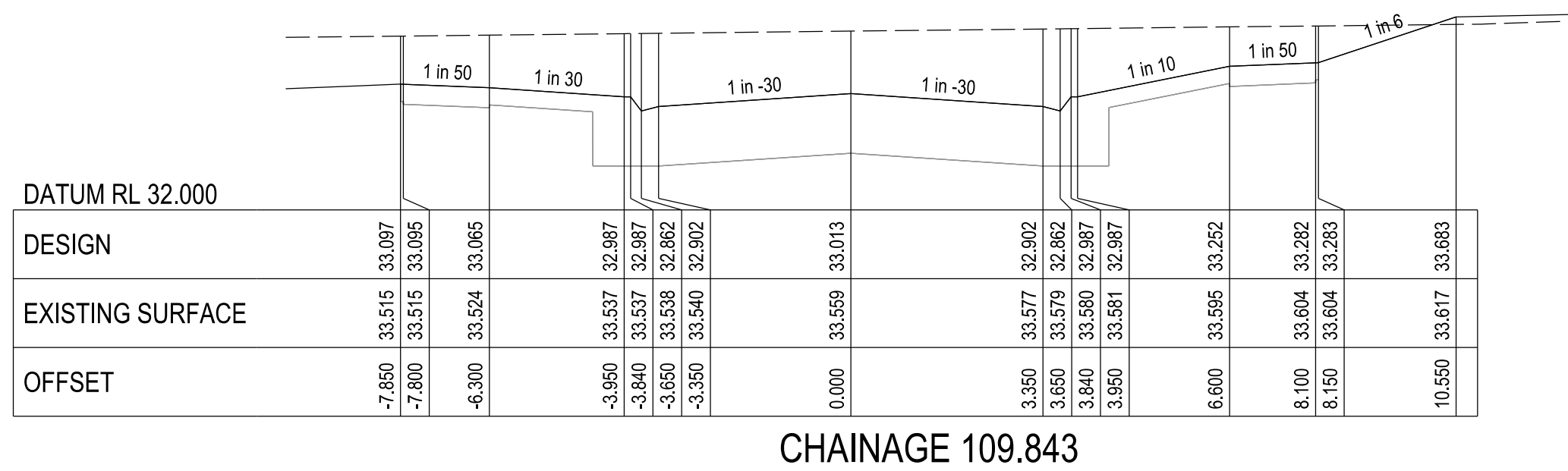
SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930
www.charltondegg.com.au

COUNCIL: CITY OF CASEY

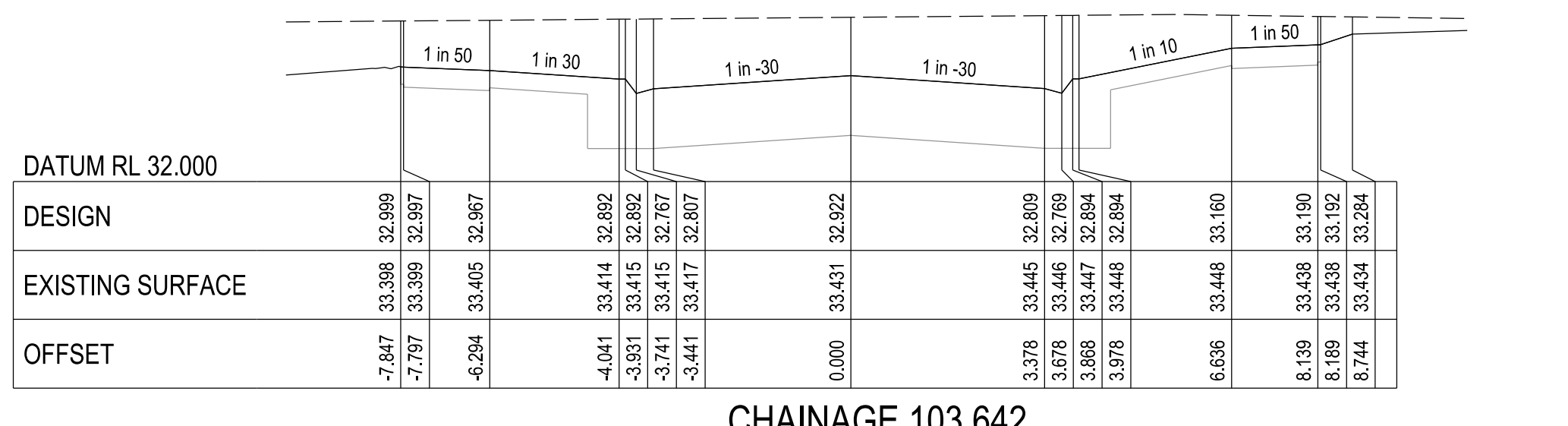
TITLE: BROWN PROPERTY GROUP
MERIDIAN ESTATE - STAGE 9B
1850 THOMPSONS ROAD, CLYDE NORTH

FELLOWSHIP STREET LONGITUDINAL AND CROSS SECTIONS

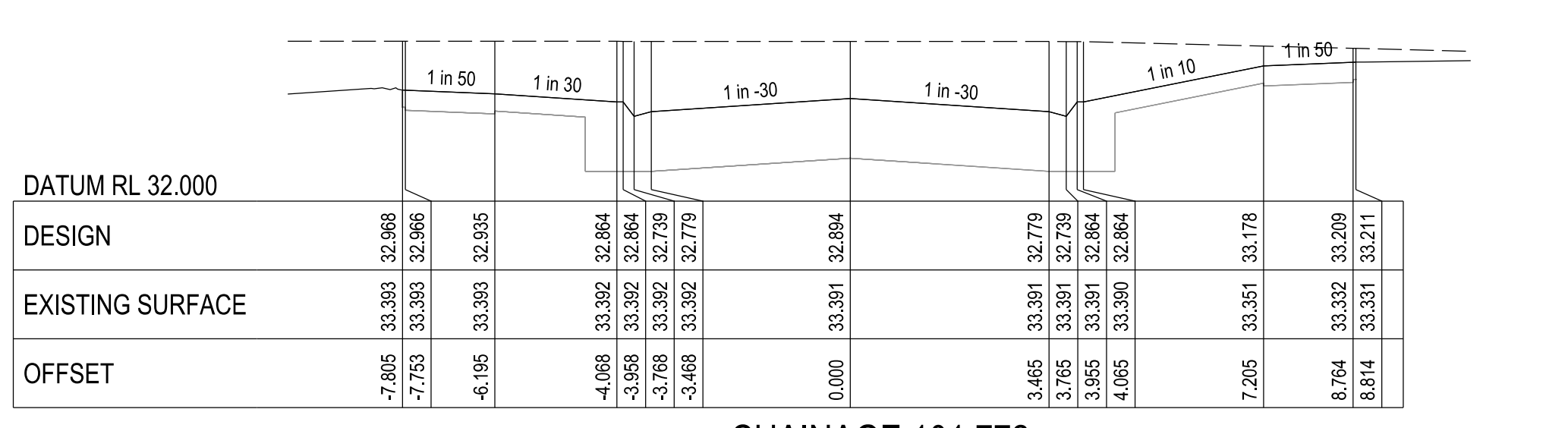
DRG NO. 1137_9B/R10	REV. K	SHEET 10 OF 21
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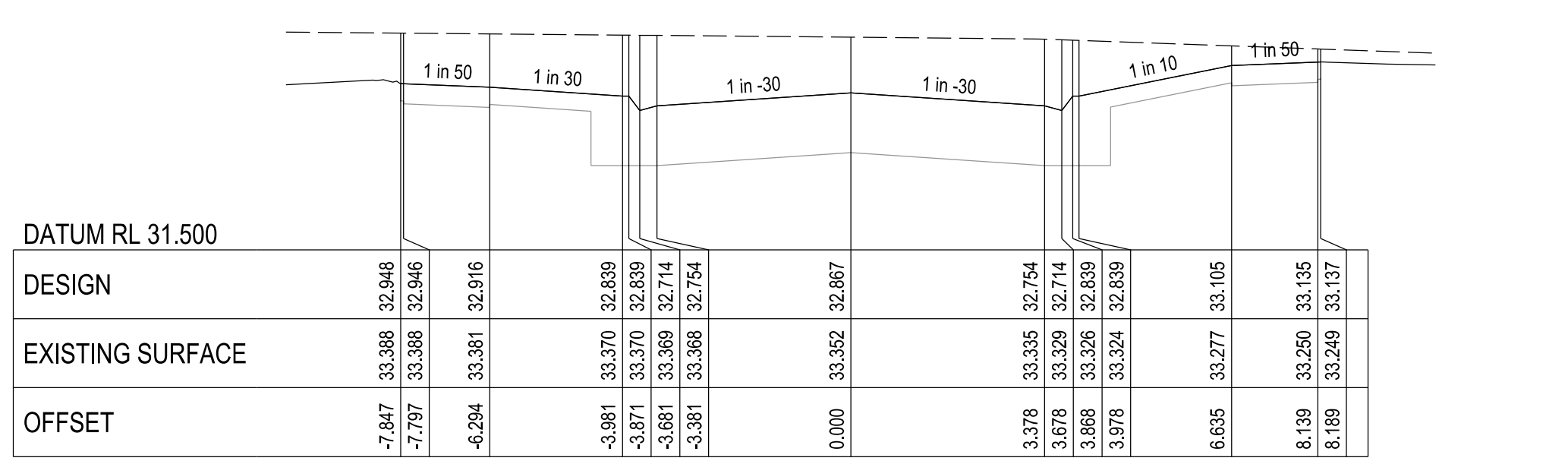
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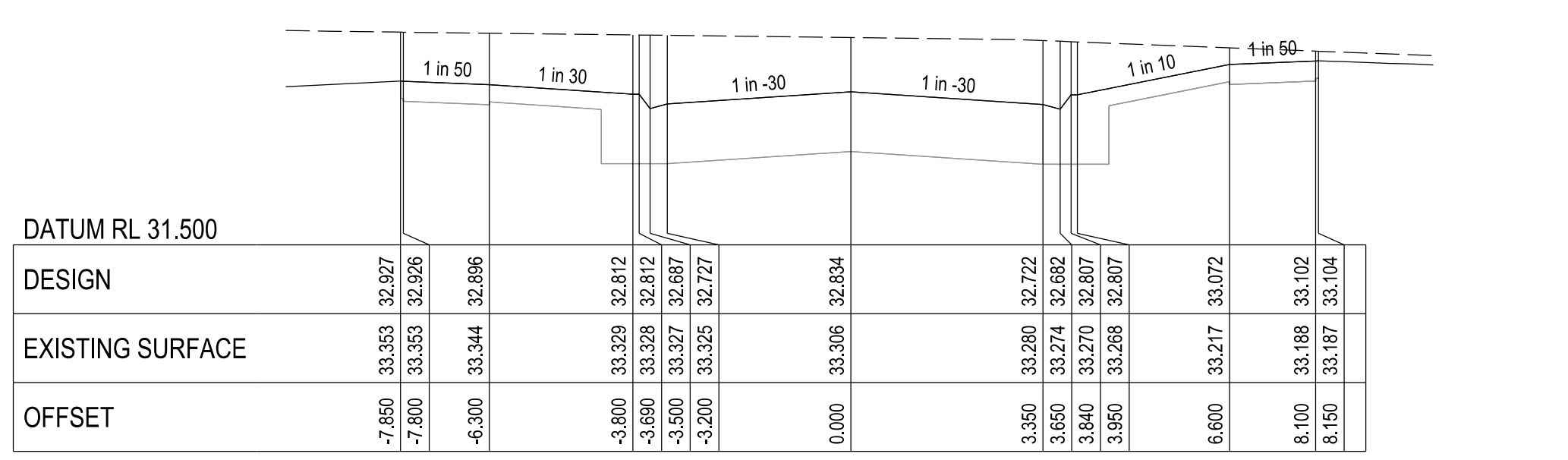
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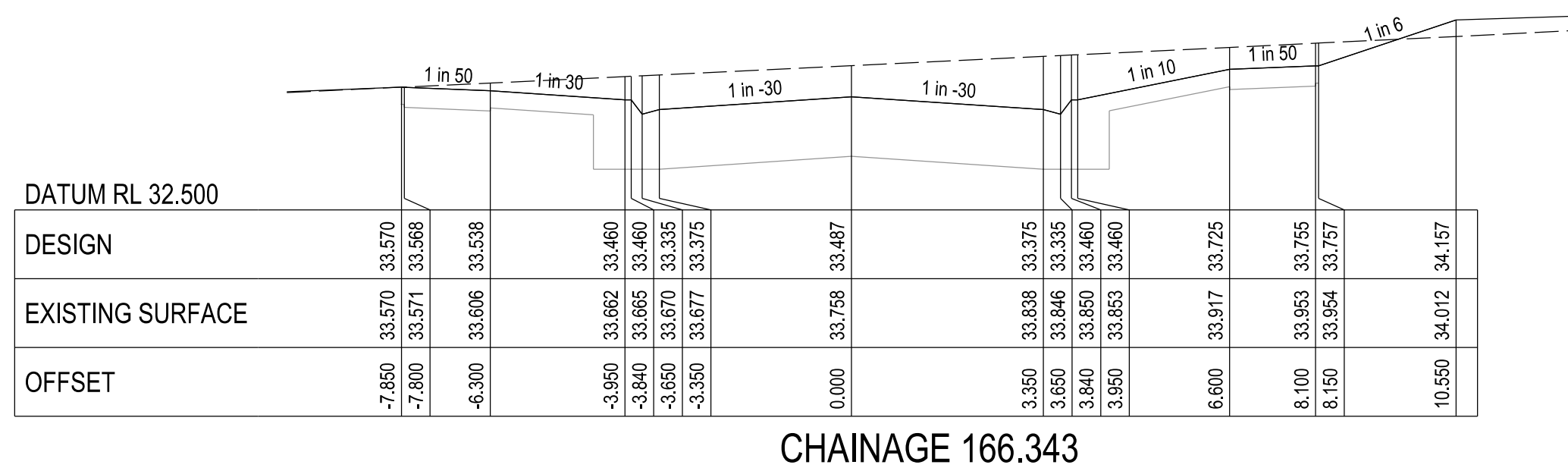
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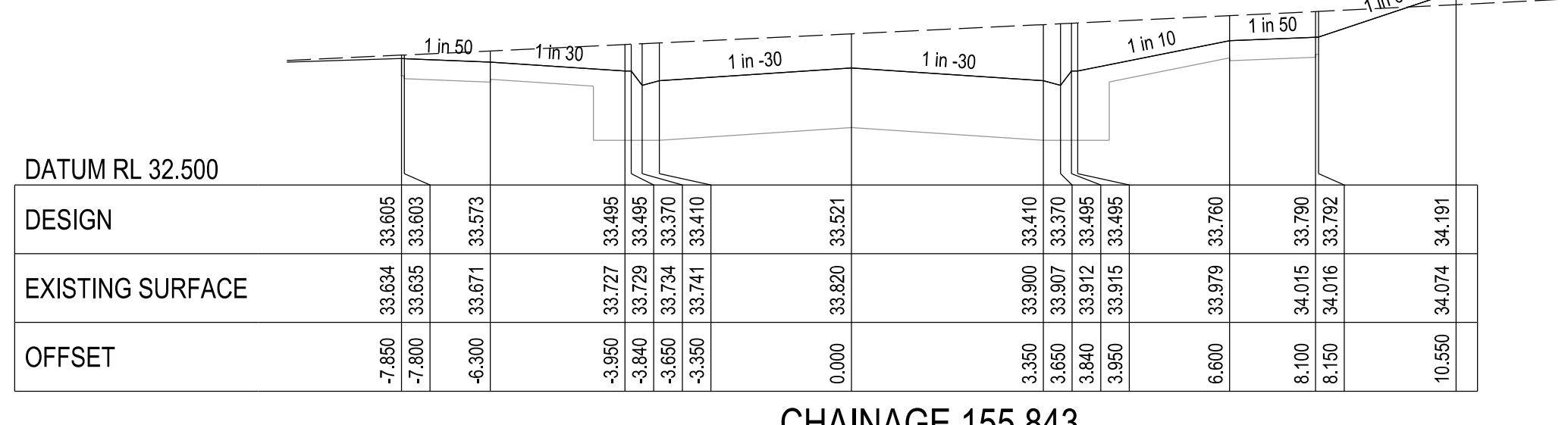
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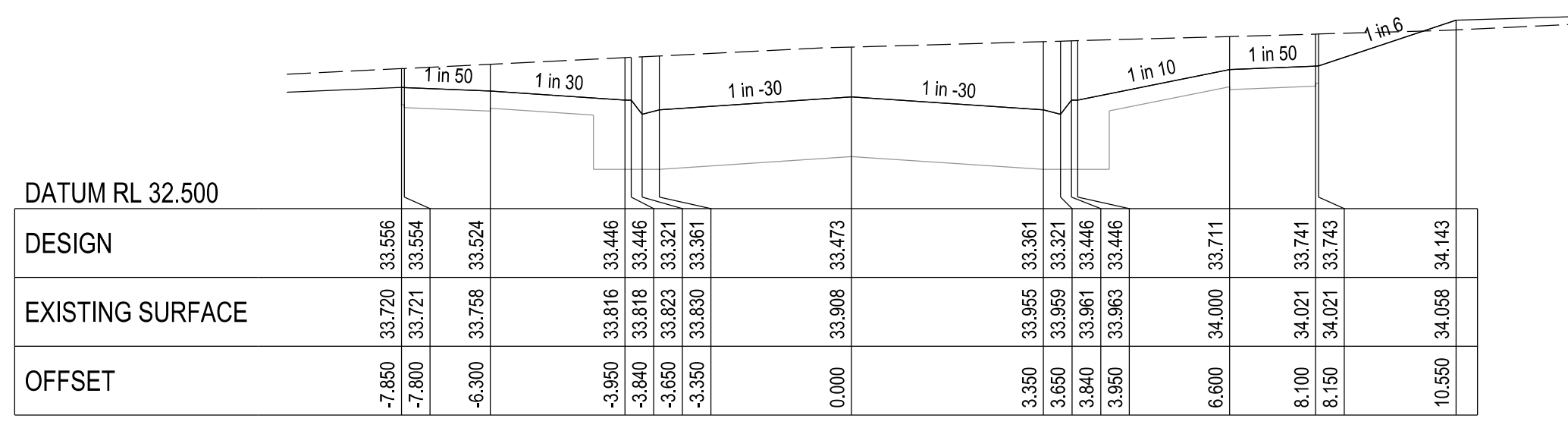
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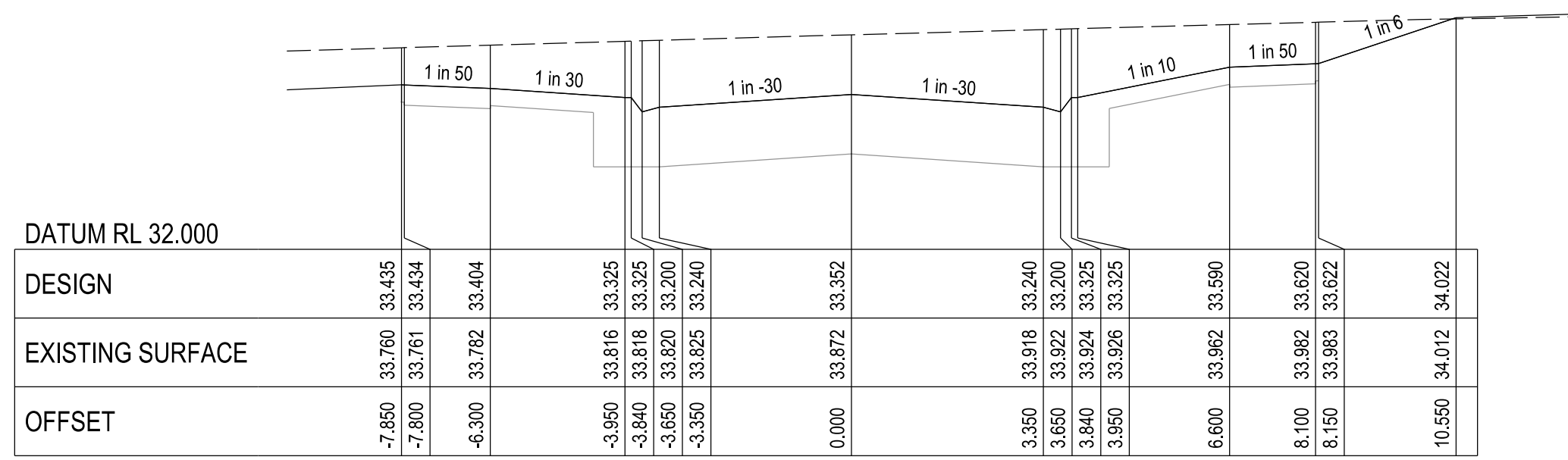
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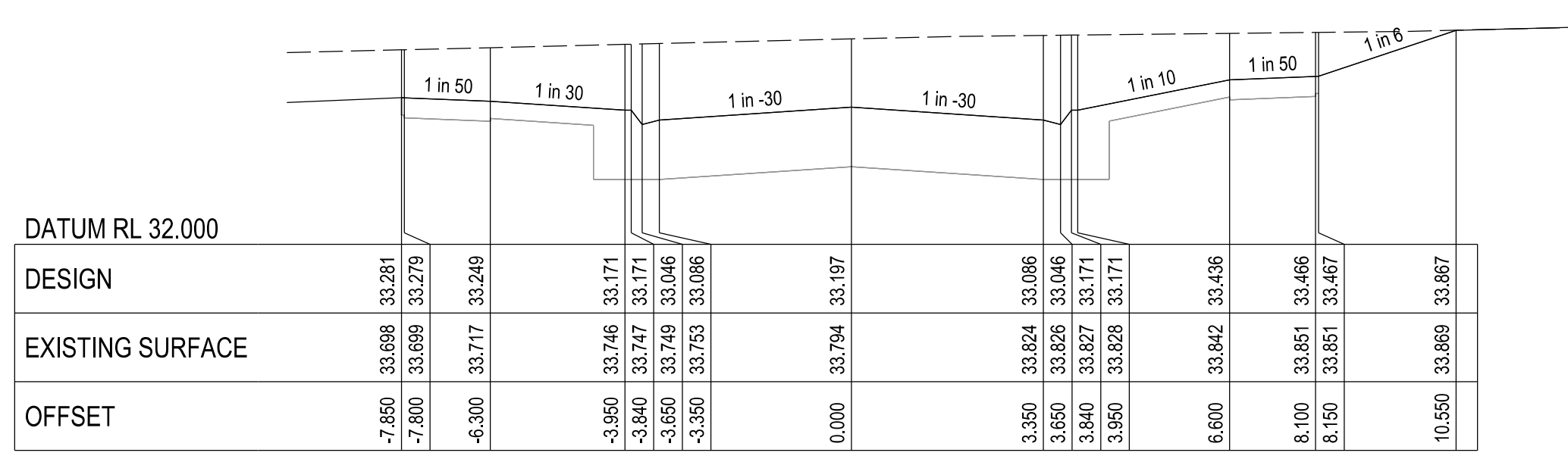
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CHAINAGE 143.343



CHAINAGE 132.843

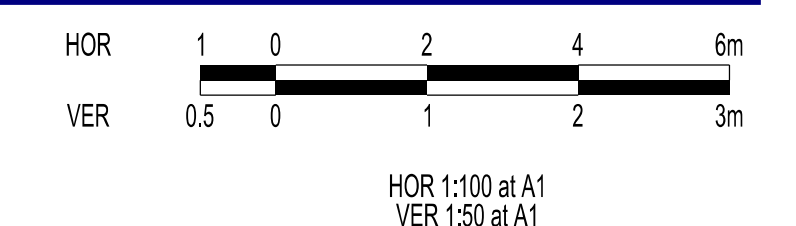


CHAINAGE 122.343

City of Casey

Approved By : Ivan Heng
 Plan No. : R5340
 File No. : SEng00271/19
 Planning Permit No. : PlnA00127/16.A
 Date : 03/12/2019

Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.



REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

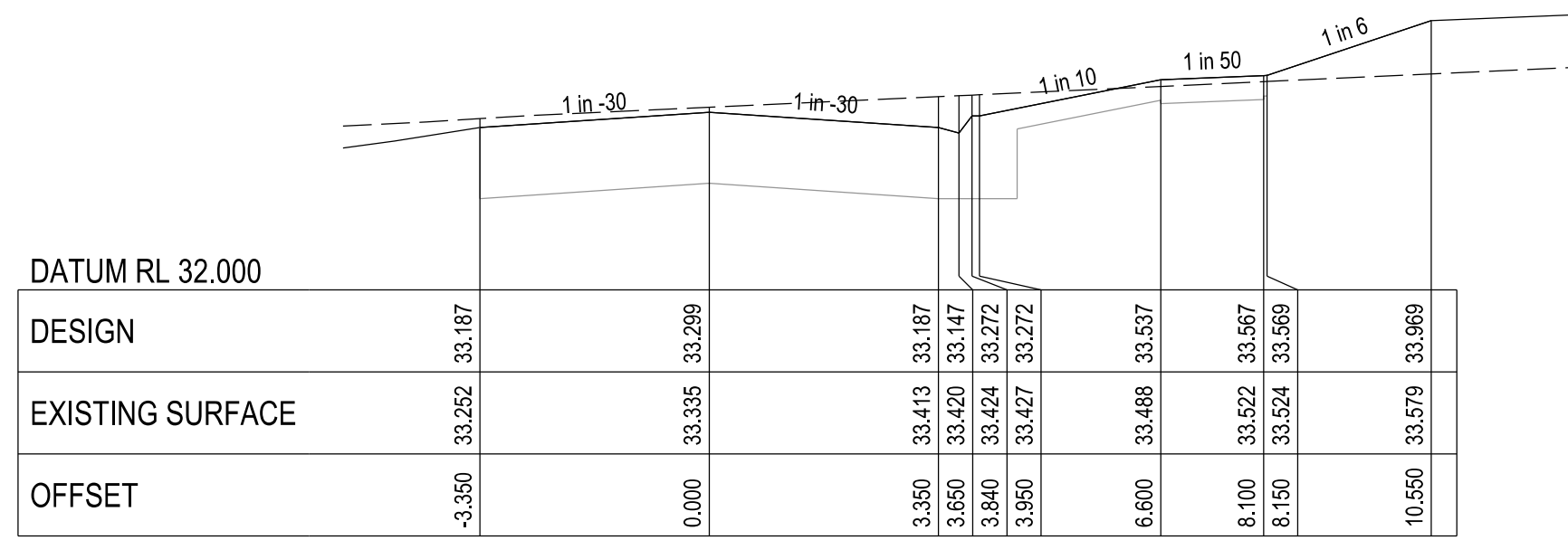
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DRAWN: ML	DATE: MAY 2019	SCALE: AS SHOWN
DESIGNED: ML	DATE: MAY 2019	DATE PRINTED: 15/11/2019
AUTHORISED: TS	DATE: MAY 2019	



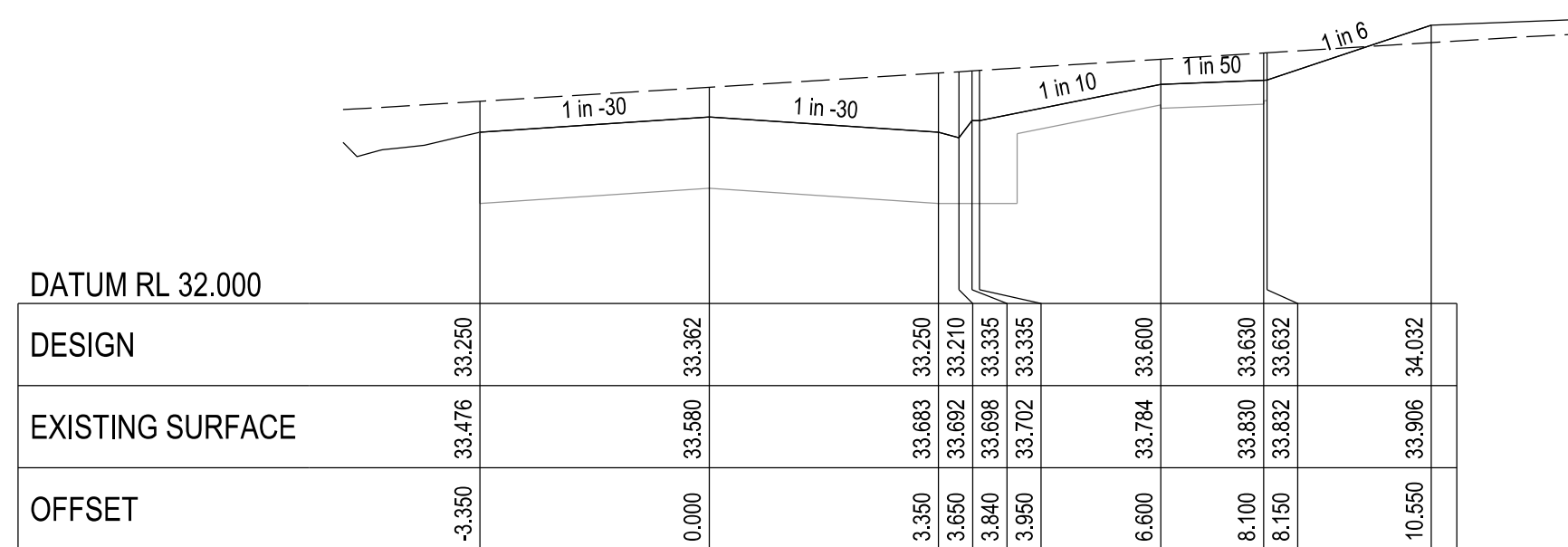
CITY OF CASEY
 TITLE: BROWN PROPERTY GROUP MERIDIAN ESTATE - STAGE 9B 1850 THOMPSONS ROAD, CLYDE NORTH

FELLOWSHIP STREET CROSS SECTIONS 1



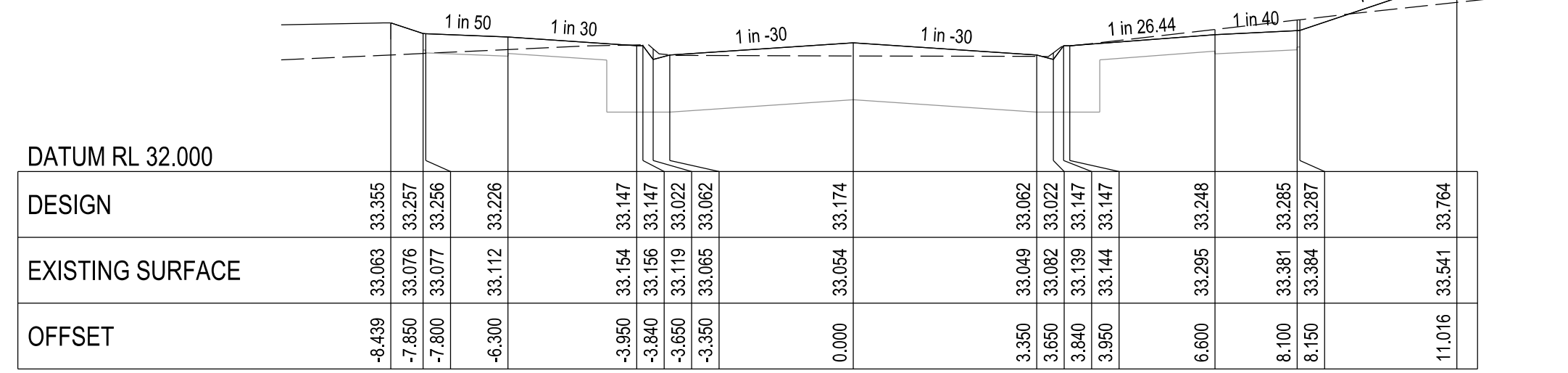
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CHAINAGE 203.843



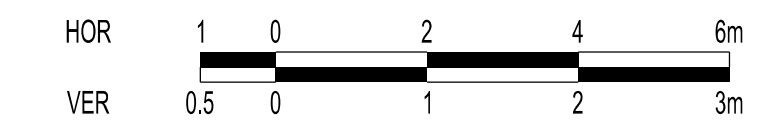
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OFFSET	3.350 33.683 33.250 3.650 33.692 33.270 3.840 33.698 33.335 3.950 33.702 33.335 6.600 33.784 33.600 8.100 33.830 33.630 8.150 33.832 33.632 10.550 33.906 34.032

CHAINAGE 191.343

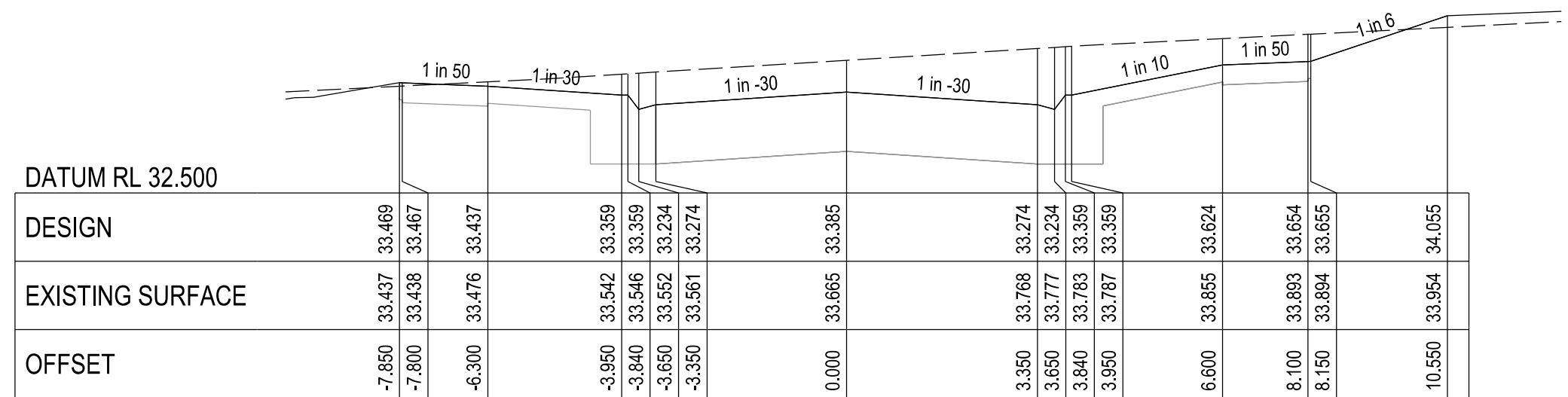


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EXISTING SURFACE	
OFFSET	

CHAINAGE 228.843

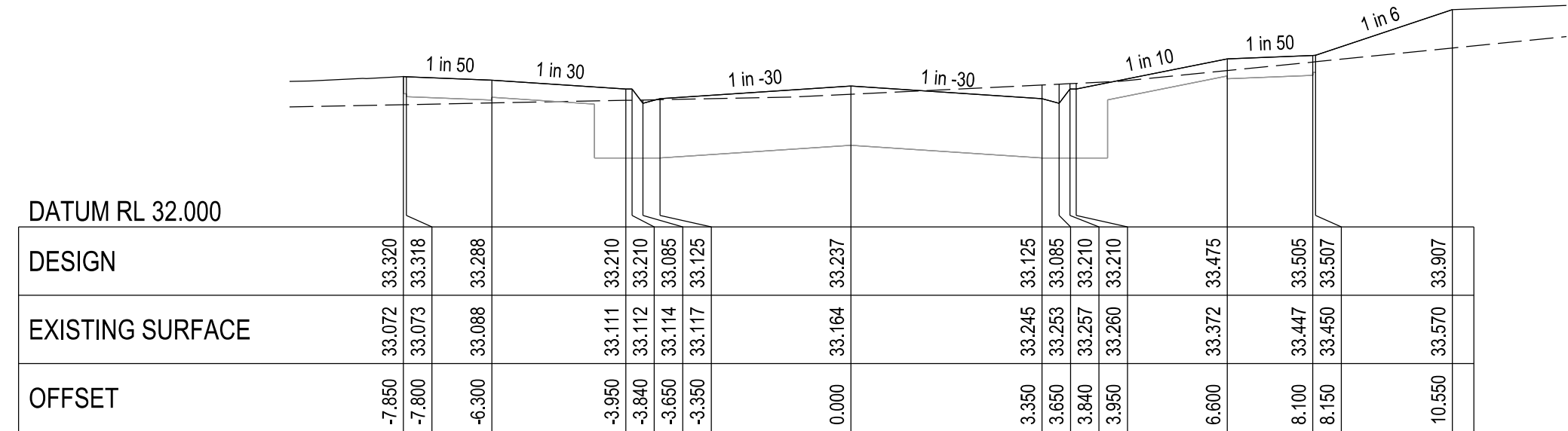


HOR 1:100 at A1
VER 1:50 at A1



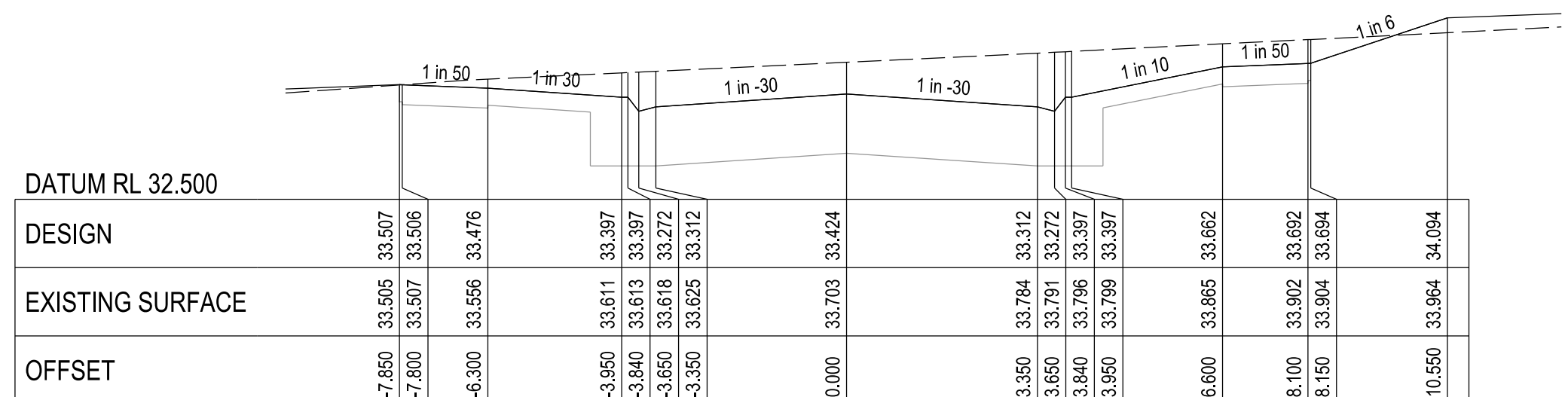
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EXISTING SURFACE	
OFFSET	

CHAINAGE 186.593



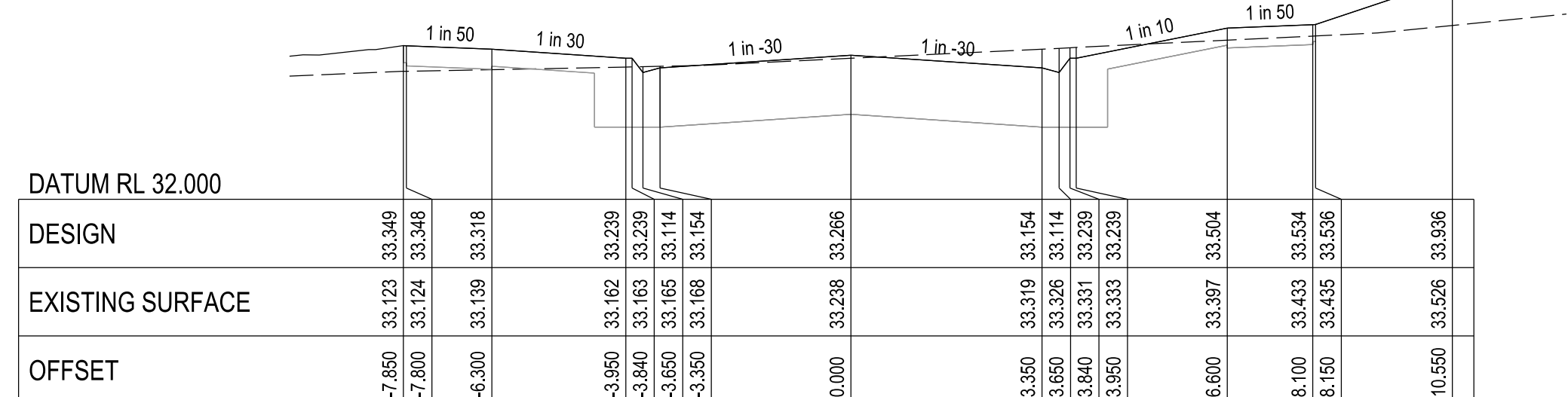
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EXISTING SURFACE	
OFFSET	

CHAINAGE 216.343



DATUM RL 32.500	
DESIGN	-7.850 33.505 33.507 -7.800 33.507 33.506 -6.300 33.556 33.476 -3.950 33.611 33.397 -3.840 33.613 33.397 -3.650 33.618 33.272 -3.350 33.625 33.312 0.000 33.703 33.424 3.350 33.784 33.312 3.650 33.791 33.272 3.840 33.796 33.397 3.950 33.799 33.397 6.600 33.885 33.662 8.100 33.902 33.692 8.150 33.904 33.694 10.550 33.964 34.094
EXISTING SURFACE	
OFFSET	

CHAINAGE 178.843



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EXISTING SURFACE	
OFFSET	

CHAINAGE 210.493

City of Casey

Approved By : Ivan Heng
 Plan No. : R5340
 File No. : SEng00271/19
 Planning Permit No. : PlnA00127/16.A
 Date : 03/12/2019

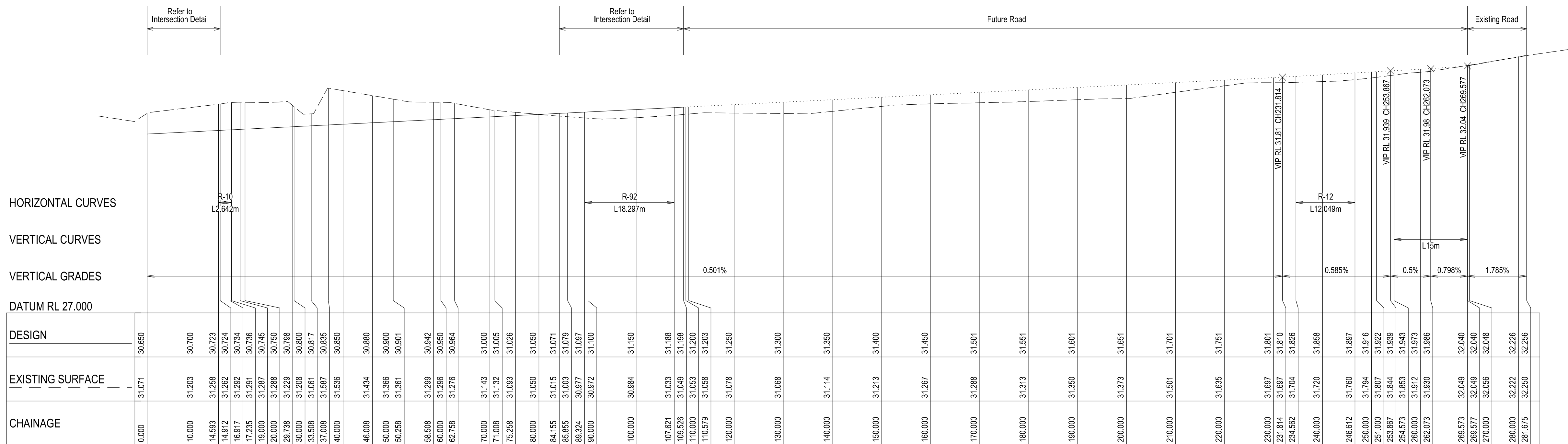
Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.

VERSION DETAILS:			
REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
F	19/08/19	POS CHANGES	PRELIMINARY
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H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

FILENAME:	P:\1137\1137_9B\12 - Design\6 - DGN\R12.dgn		
DRAWN:	ML	DATE:	MAY 2019
DESIGNED:	ML	DATE:	MAY 2019
AUTHORISED:	TS	DATE:	MAY 2019
		SCALE:	AS SHOWN
		DATE PRINTED:	15/11/2019

SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930
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COUNCIL:	CITY OF CASEY	
TITLE:	BROWN PROPERTY GROUP MERIDIAN ESTATE - STAGE 9B 1850 THOMPSONS ROAD, CLYDE NORTH	
	FELLOWSHIP STREET CROSS SECTIONS 2	
DRG NO.	1137_9B/R12	SHEET 12 OF 21
REV.	K	



PICNIC AVENUE - LONGITUDINAL SECTION
A1 HORZ SCALE 1:500
A1 VERT SCALE 1:50

City of Casey

Approved By : Ivan Heng

Plan No. : R5340

File No. : SEng00271/19

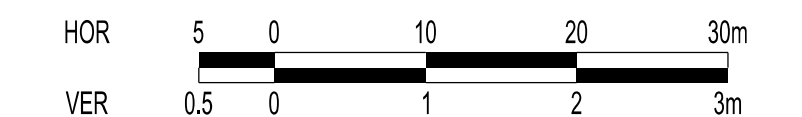
Planning Permit No. : PinA00127/16.A

Date : 03/12/2019

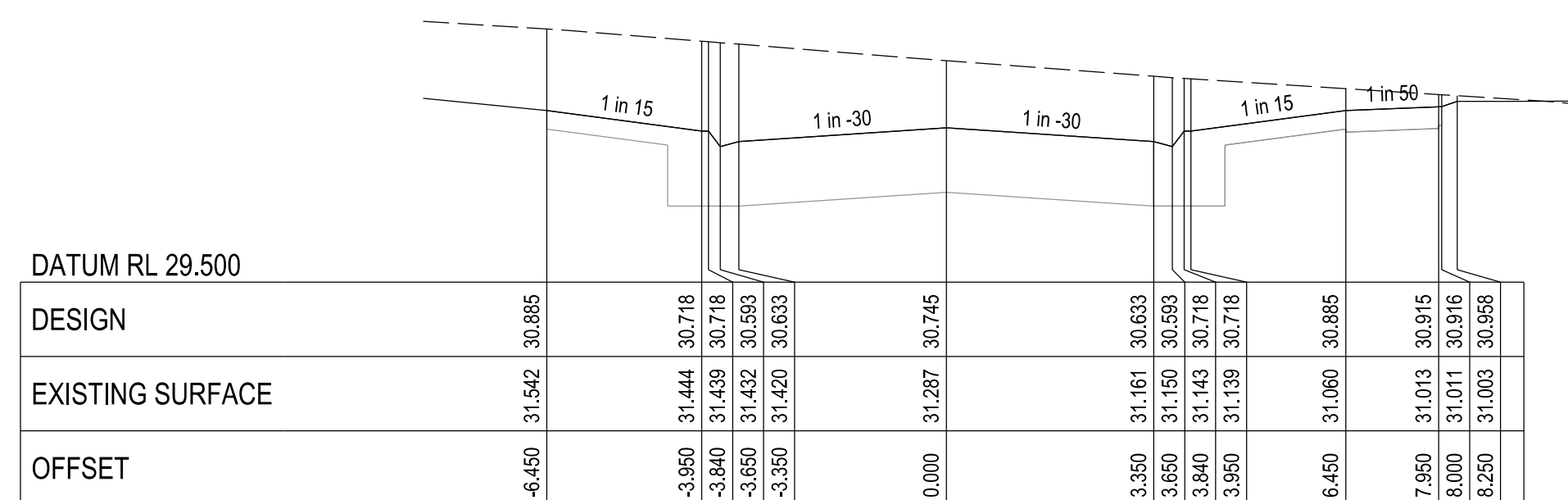
Approval Subject to : -

- An EMP and TMP will need to be submitted and approved prior to commencement of works.

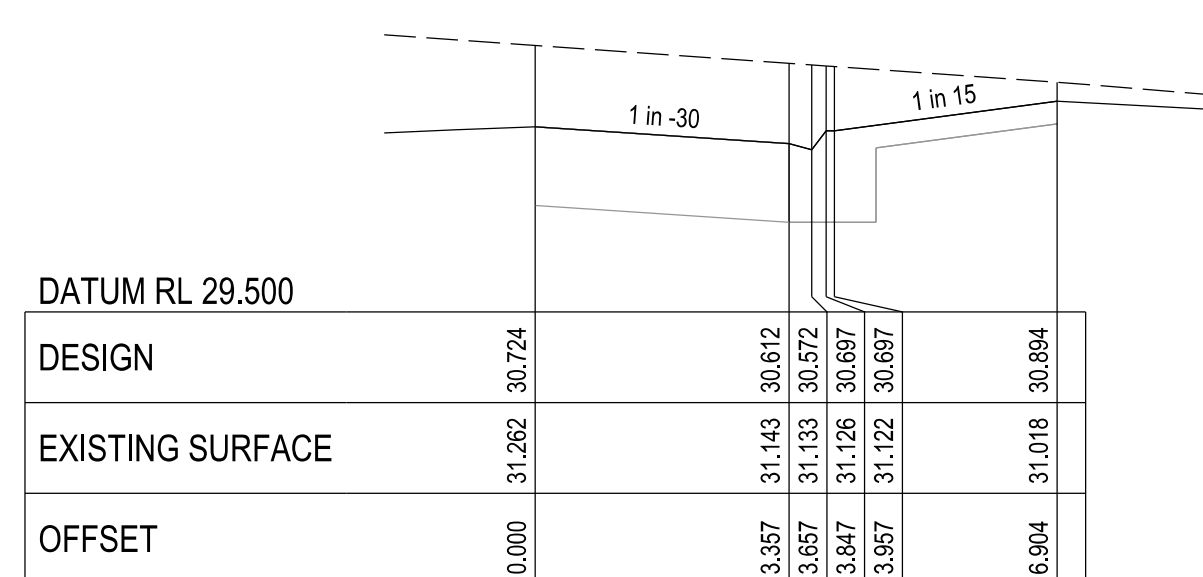
- Relevant services authorities notification and approval.



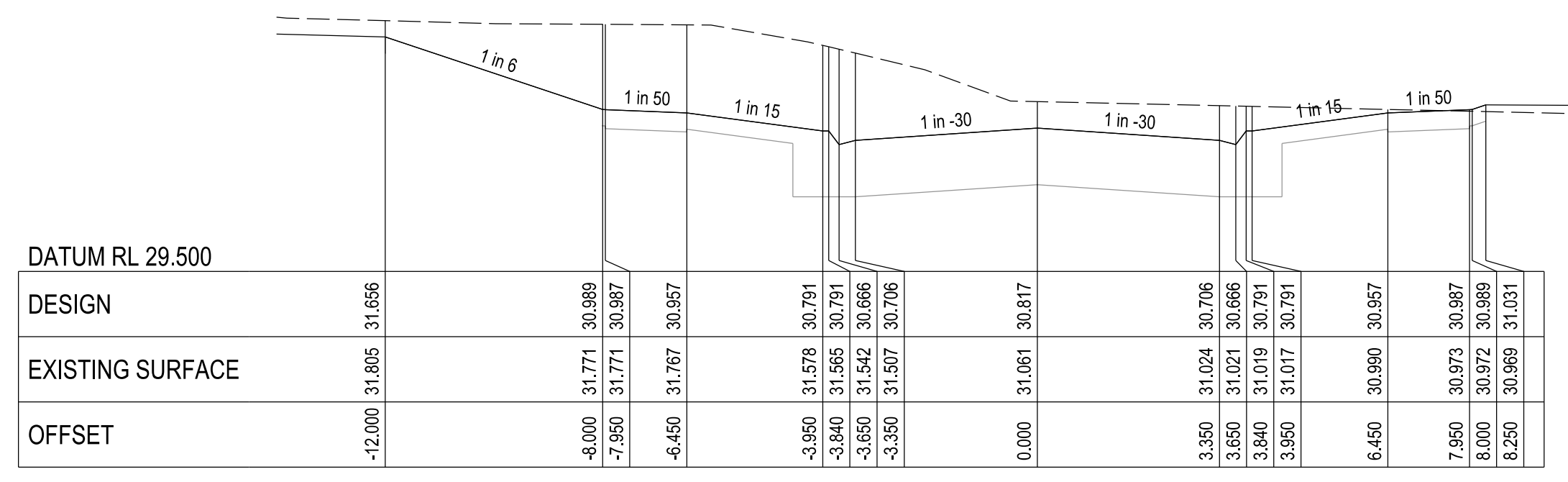
HOR 1:500 at A1
VER 1:50 at A1



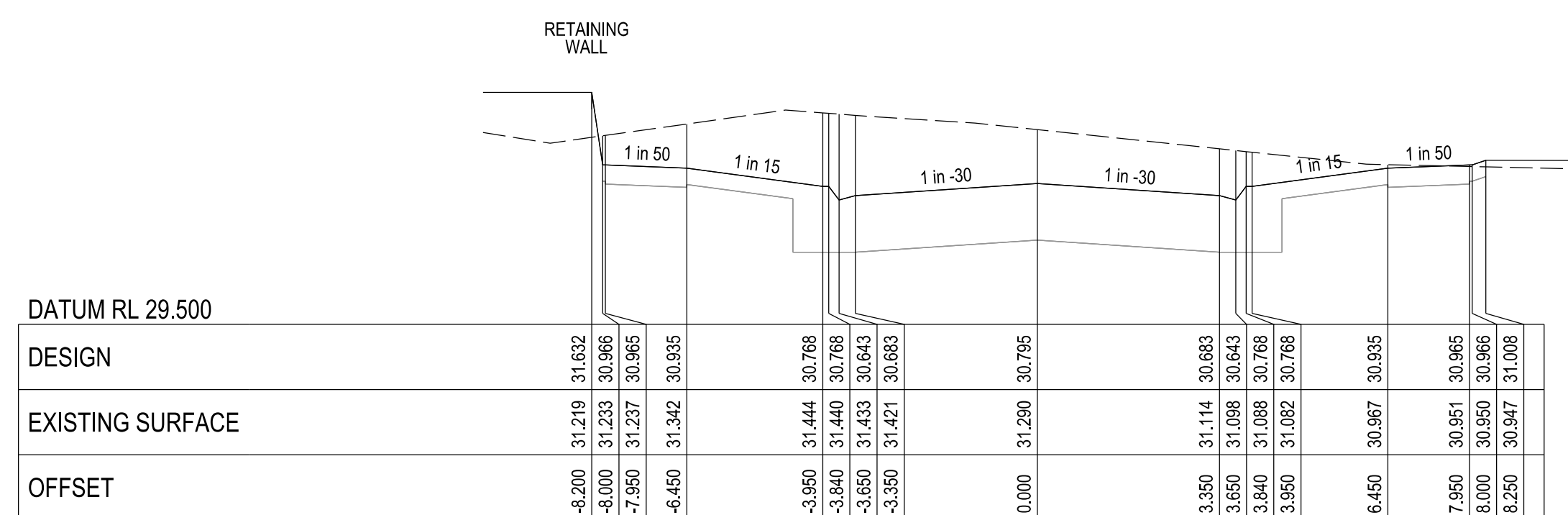
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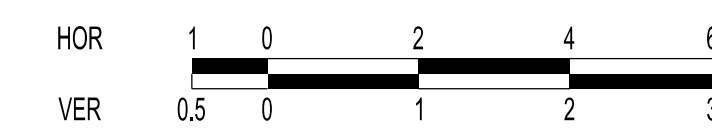
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CHAINAGE 33.508



CHAINAGE 29.008



VERSION DETAILS:

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F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

FILENAME: P:\1137\1137_9B\12 - Design\6 - DGN\R13.dgn

DRAWN: ML	DATE: MAY 2019	SCALE: AS SHOWN
DESIGNED: ML	DATE: MAY 2019	DATE PRINTED: 15/11/2019
AUTHORISED: TS	DATE: MAY 2019	

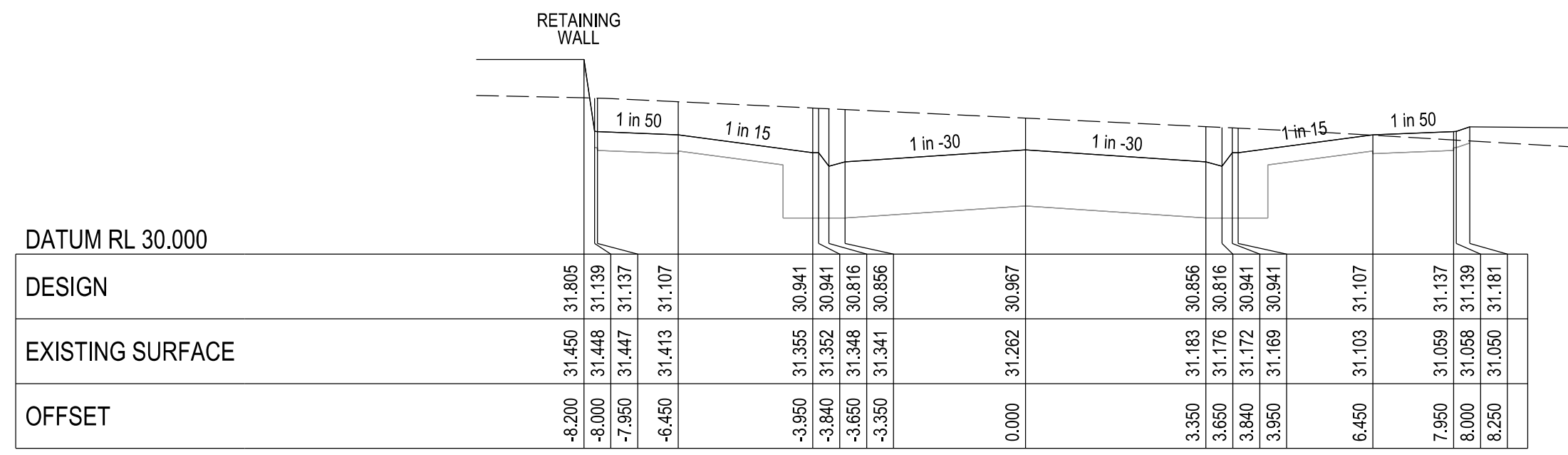
CHARLTON DEGG
LAND DEVELOPMENT CONSULTANTS
SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930
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COUNCIL: CITY OF CASEY

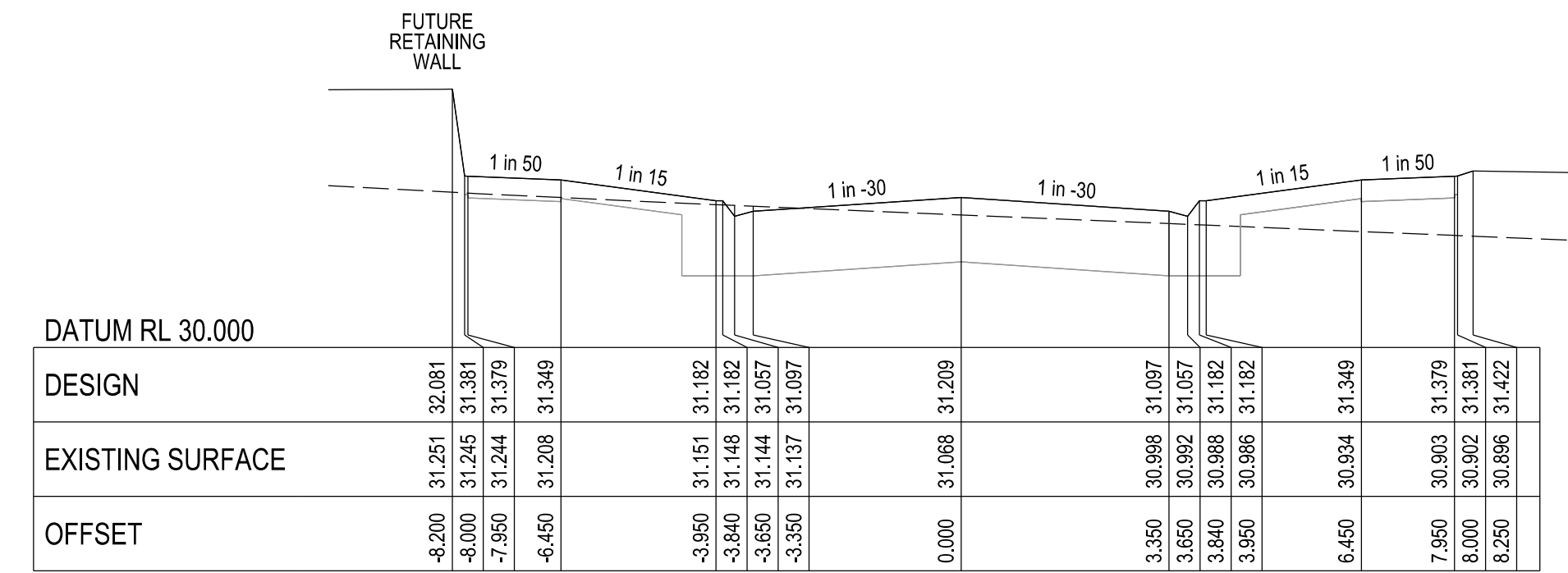
TITLE: BROWN PROPERTY GROUP
MERIDIAN ESTATE - STAGE 9B
1850 THOMPSONS ROAD, CLYDE NORTH

PICNIC AVENUE LONGITUDINAL AND CROSS SECTIONS

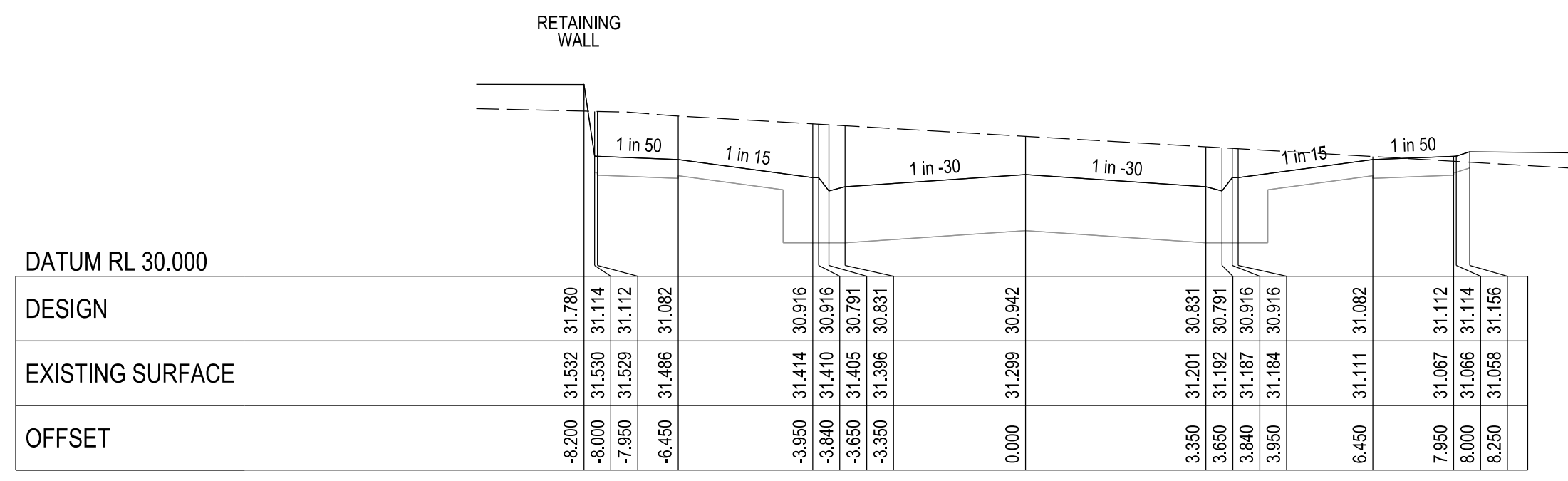
DRG NO. 1137_9B/R13	REV. K	SHEET 13 OF 21
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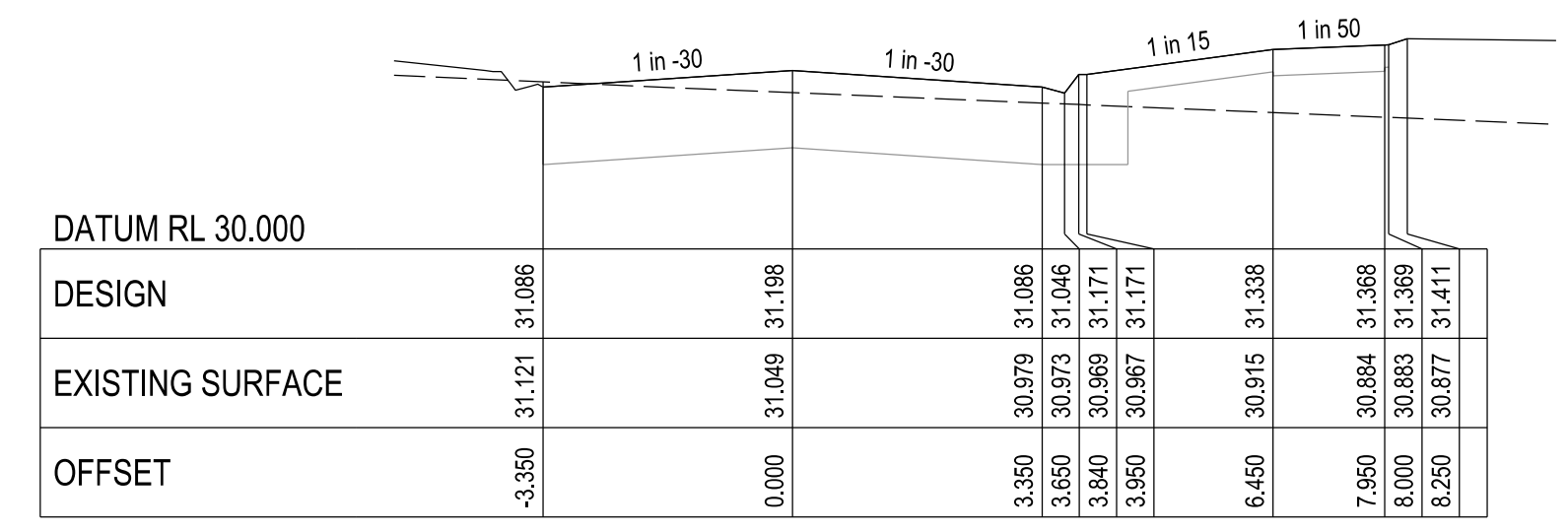
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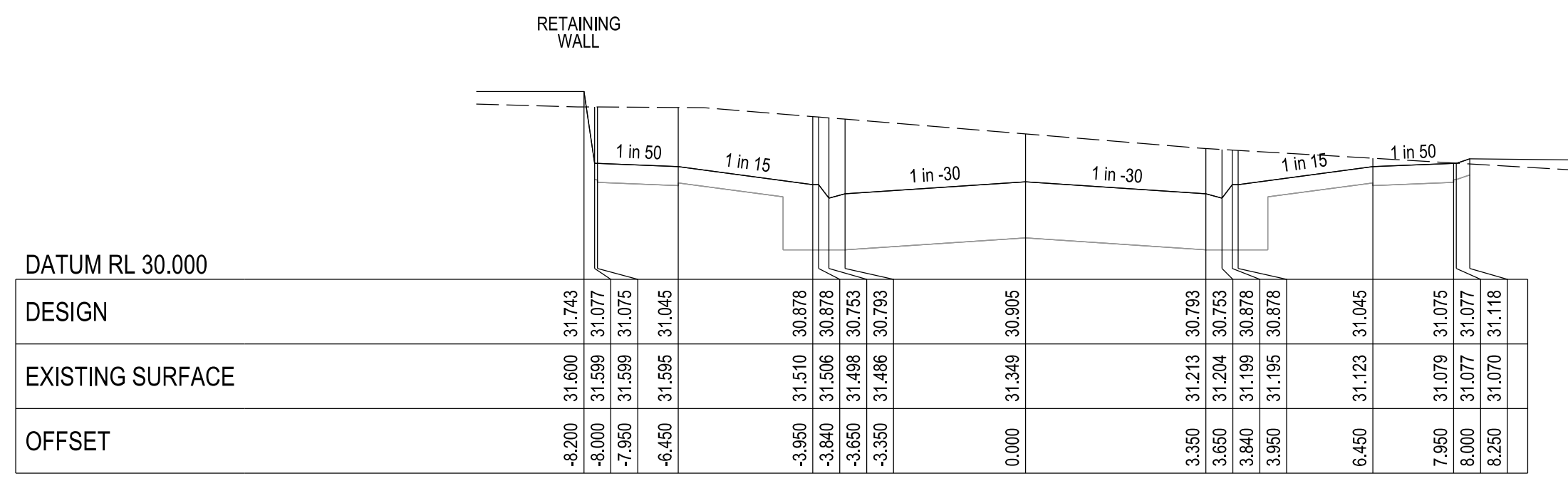
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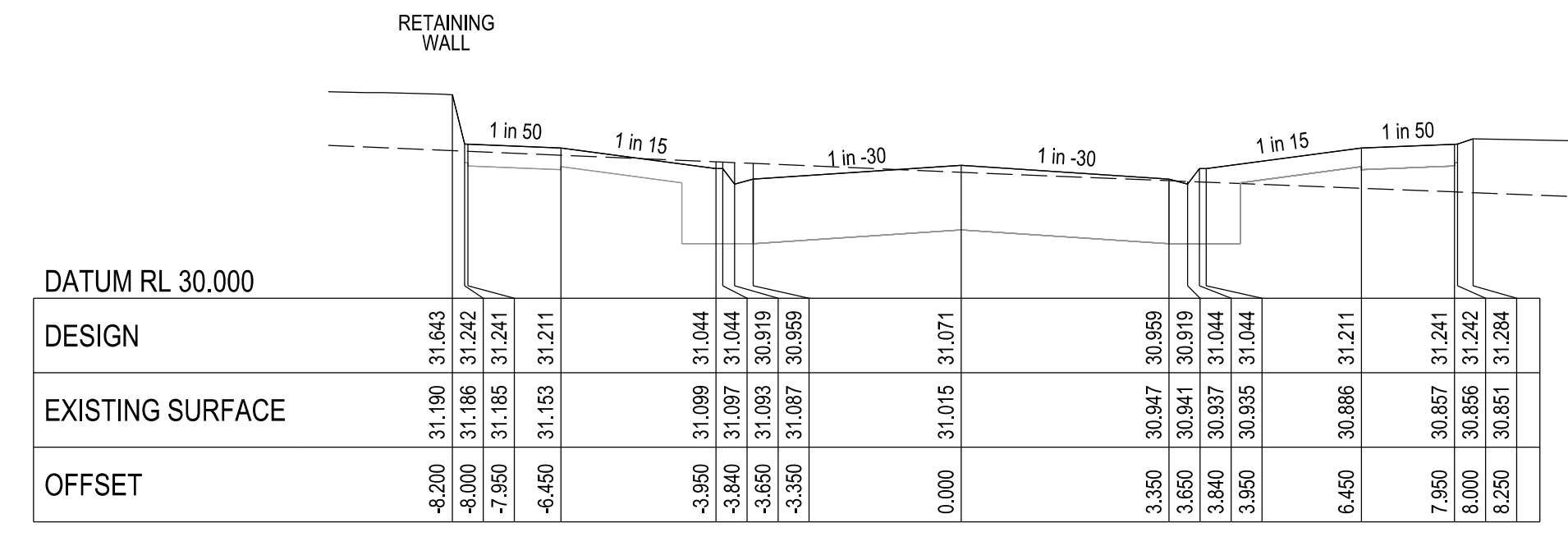
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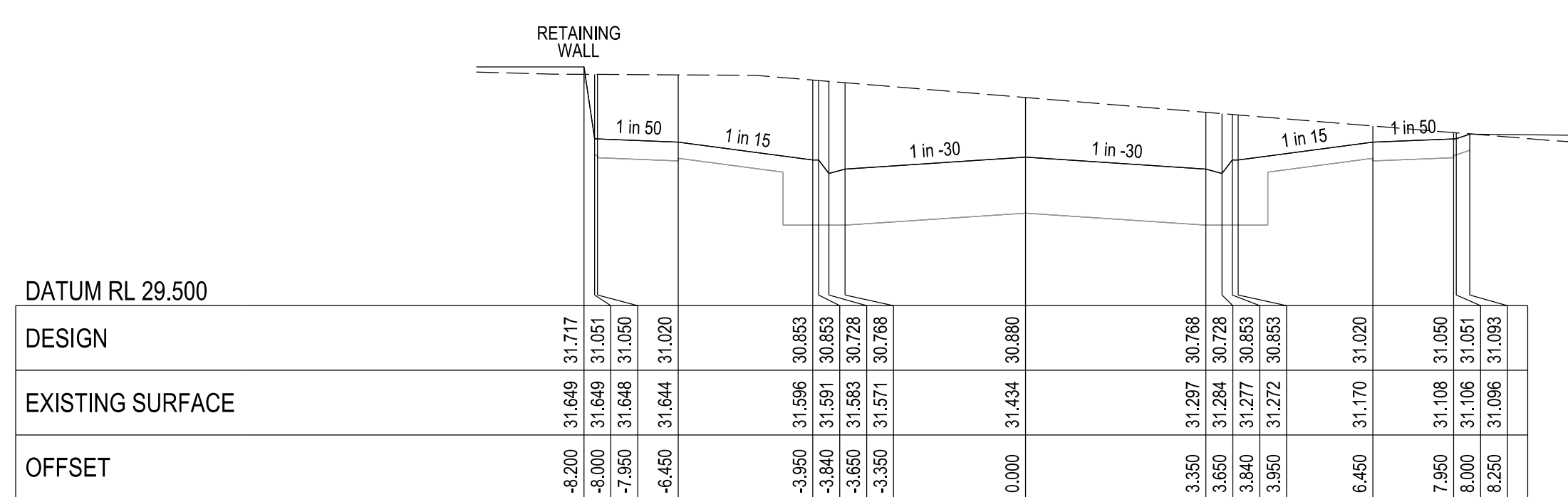
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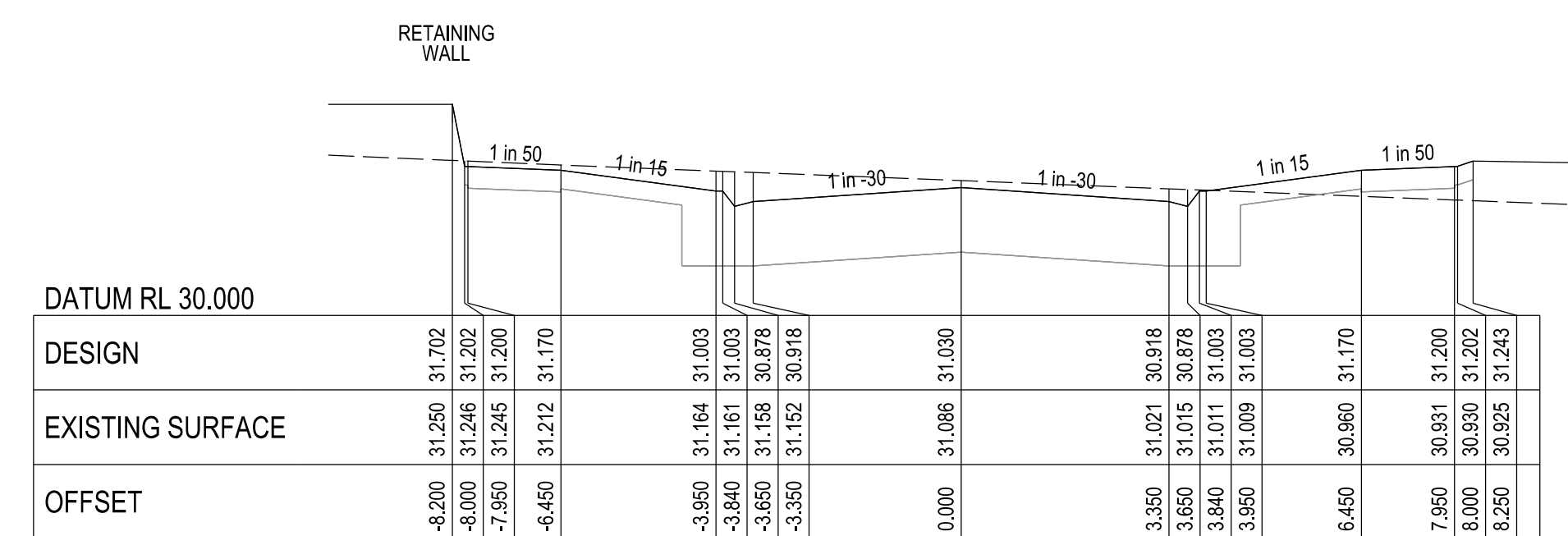
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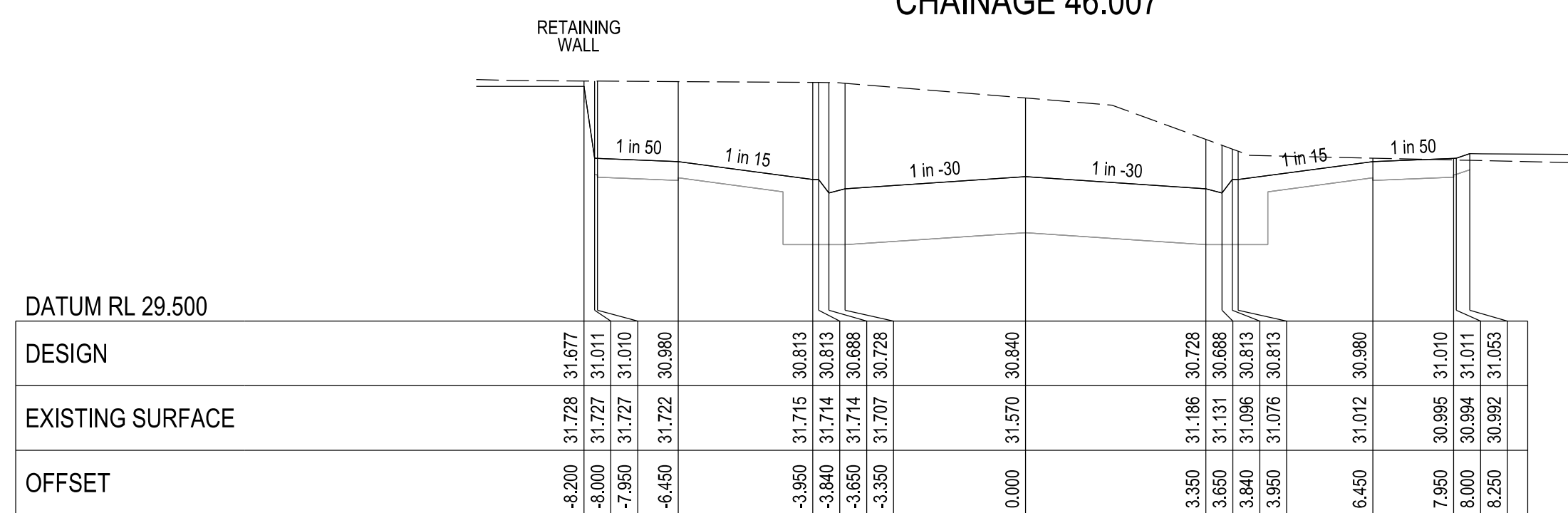
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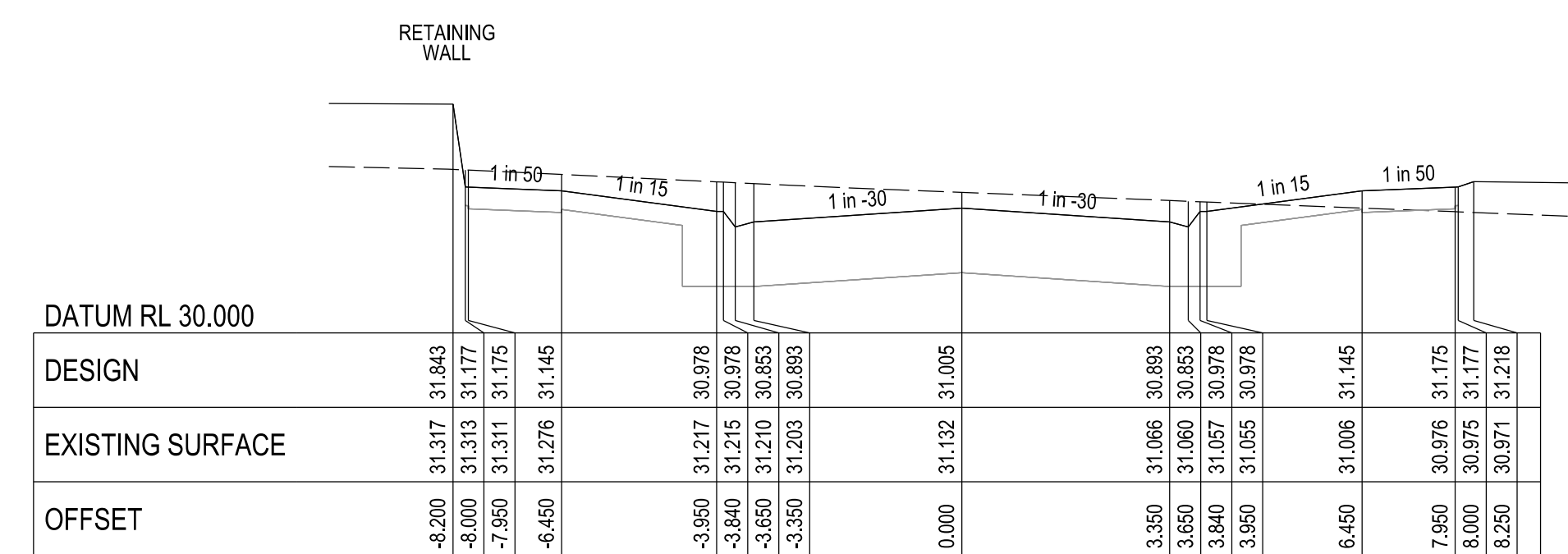
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CHAINAGE 76.008



CHAINAGE 38.008

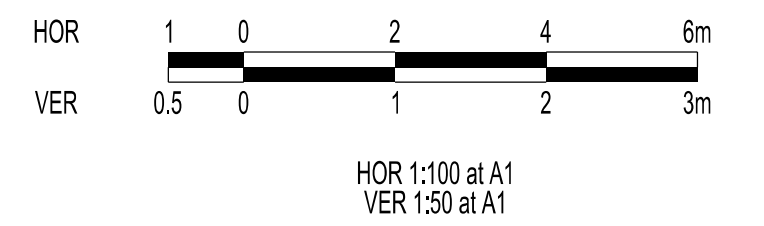


CHAINAGE 71.008

City of Casey

Approved By : Ivan Heng
 Plan No. : R5340
 File No. : SEng00271/19
 Planning Permit No. : PinA00127/16.A
 Date : 03/12/2019

Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.



VERSION DETAILS:			
REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

FILENAME:	P:\1137\1137_9B\E\2 - Design\6 - DGN\R14.dgn		
DRAWN:	ML	DATE:	MAY 2019
DESIGNED:	ML	DATE:	MAY 2019
AUTHORISED:	TS	DATE:	MAY 2019

CHARLTON DEGG
 LAND DEVELOPMENT CONSULTANTS

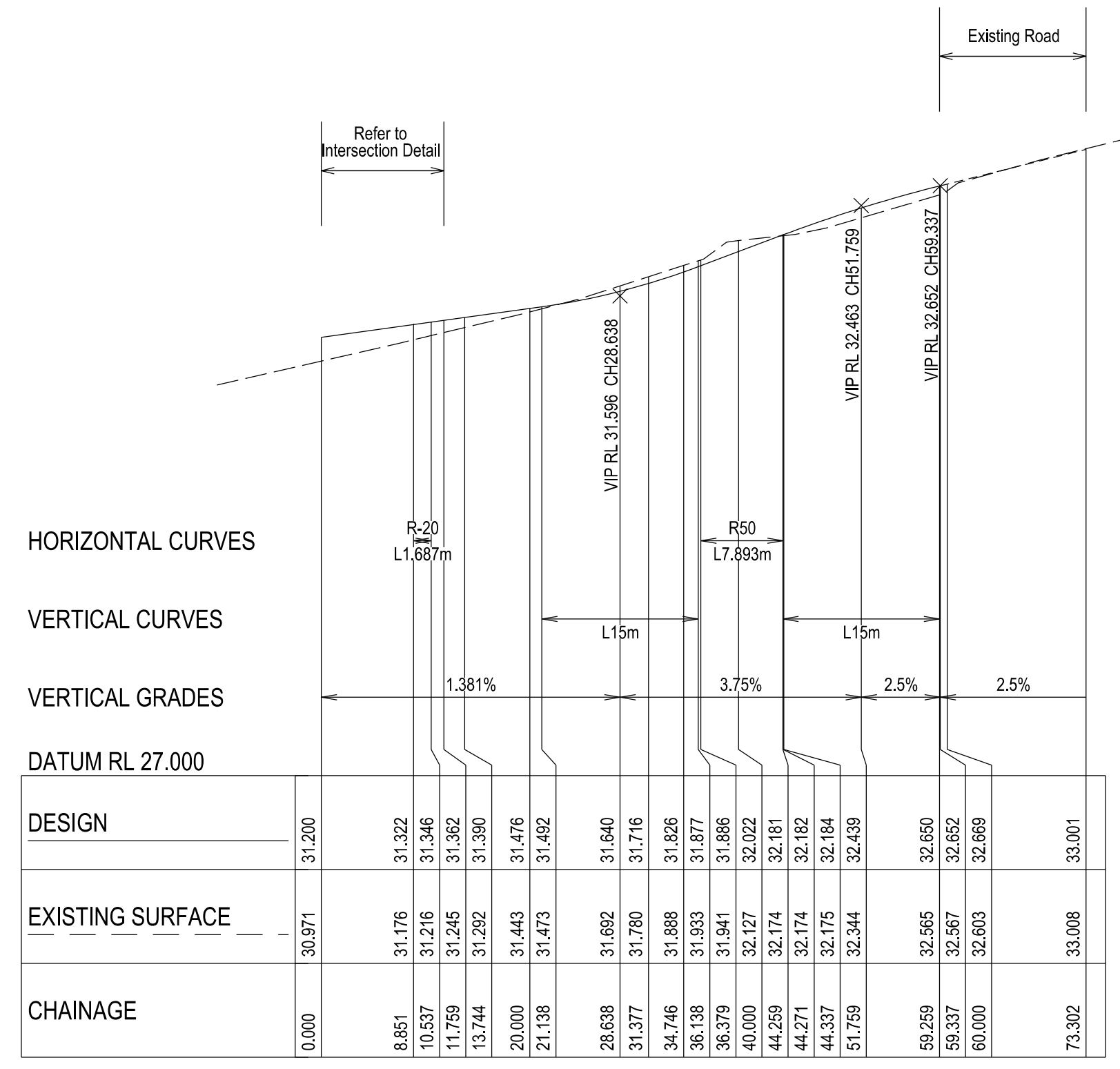
SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930
 www.charltondegg.com.au

COUNCIL:
CITY OF CASEY

TITLE:
**BROWN PROPERTY GROUP
 MERIDIAN ESTATE - STAGE 9B
 1850 THOMPSONS ROAD, CLYDE NORTH**

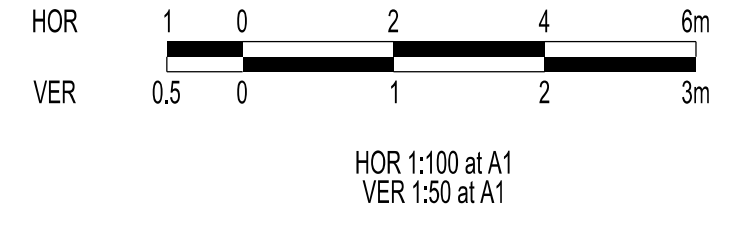
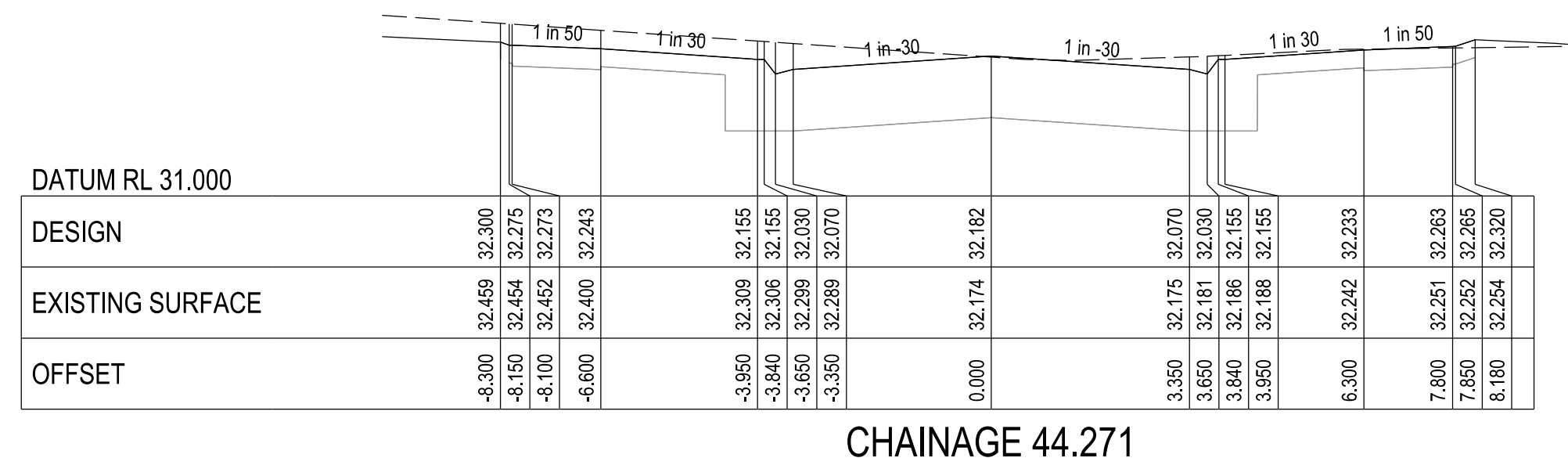
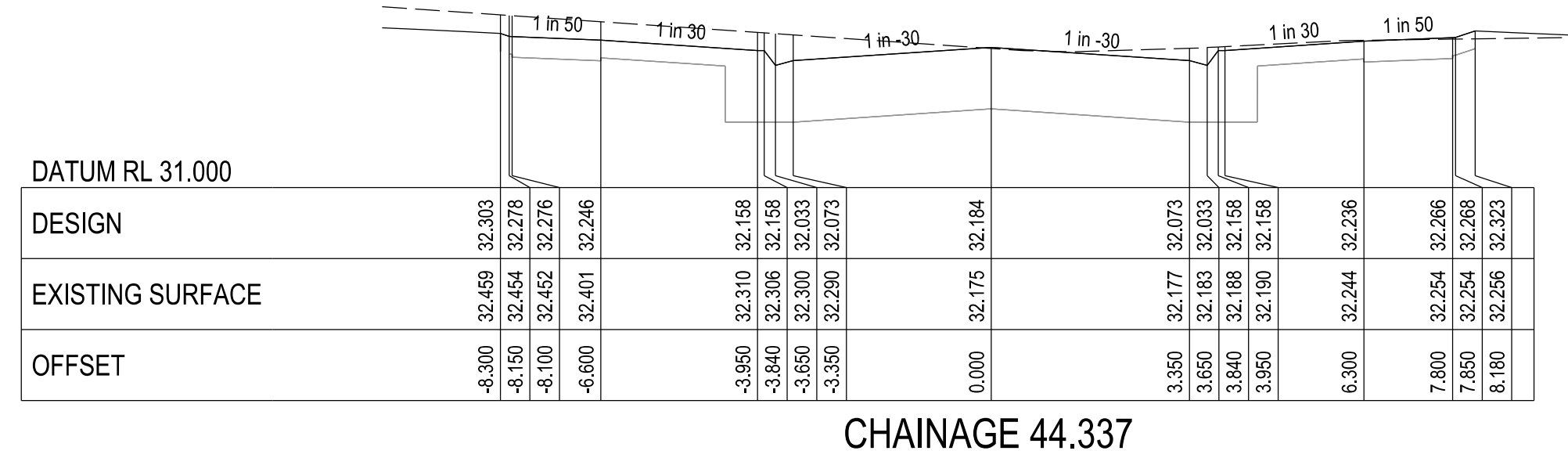
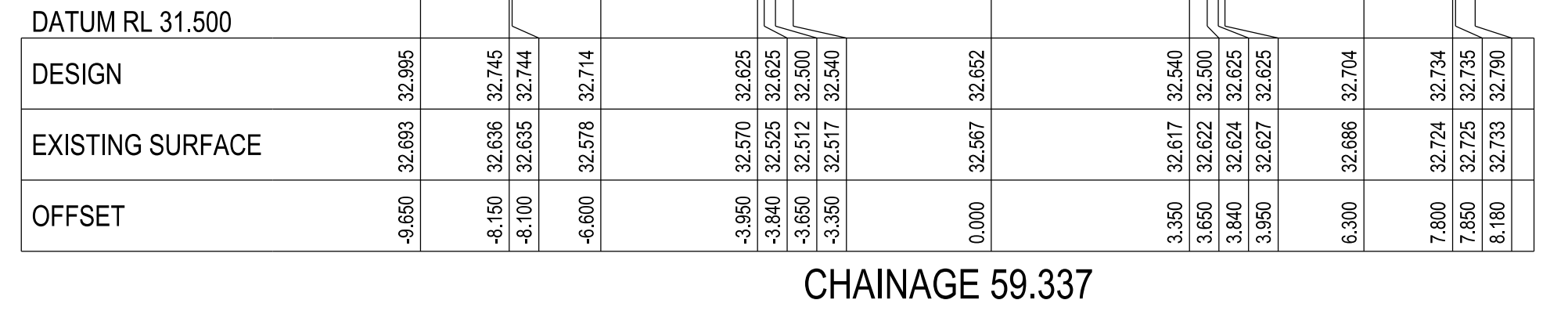
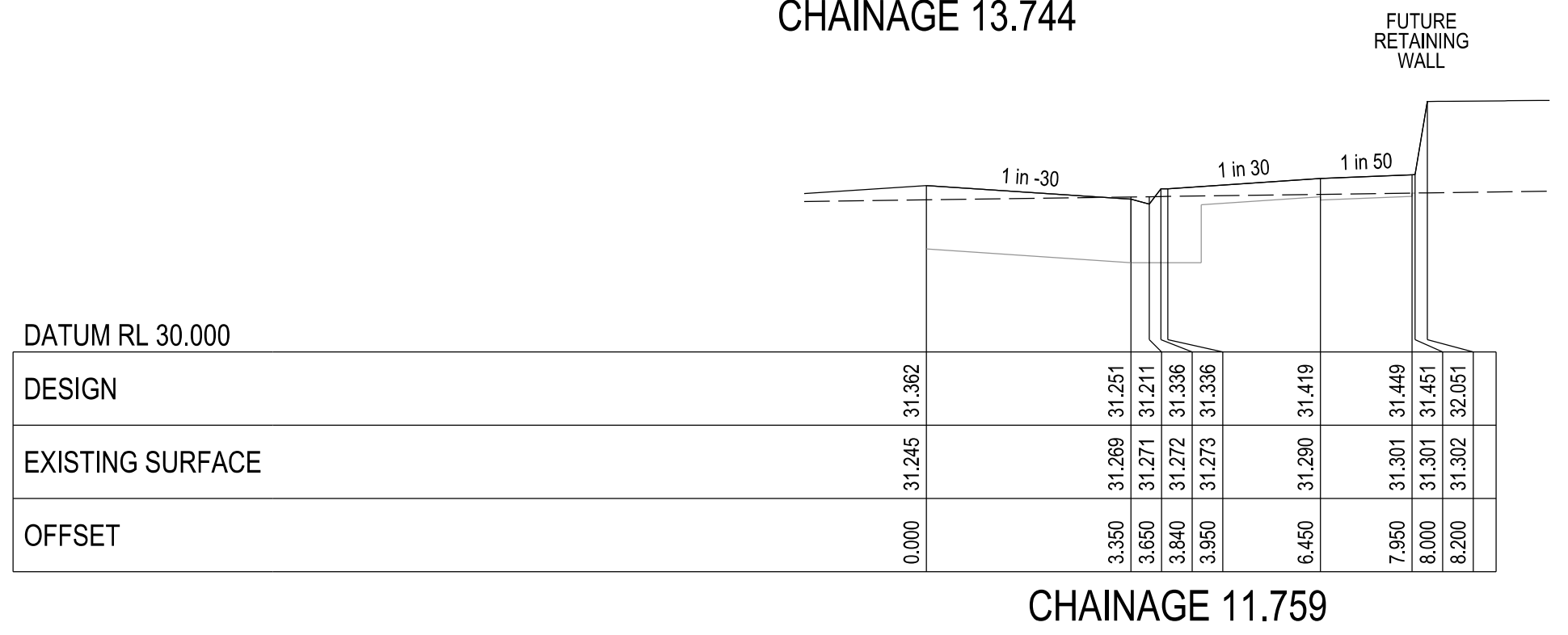
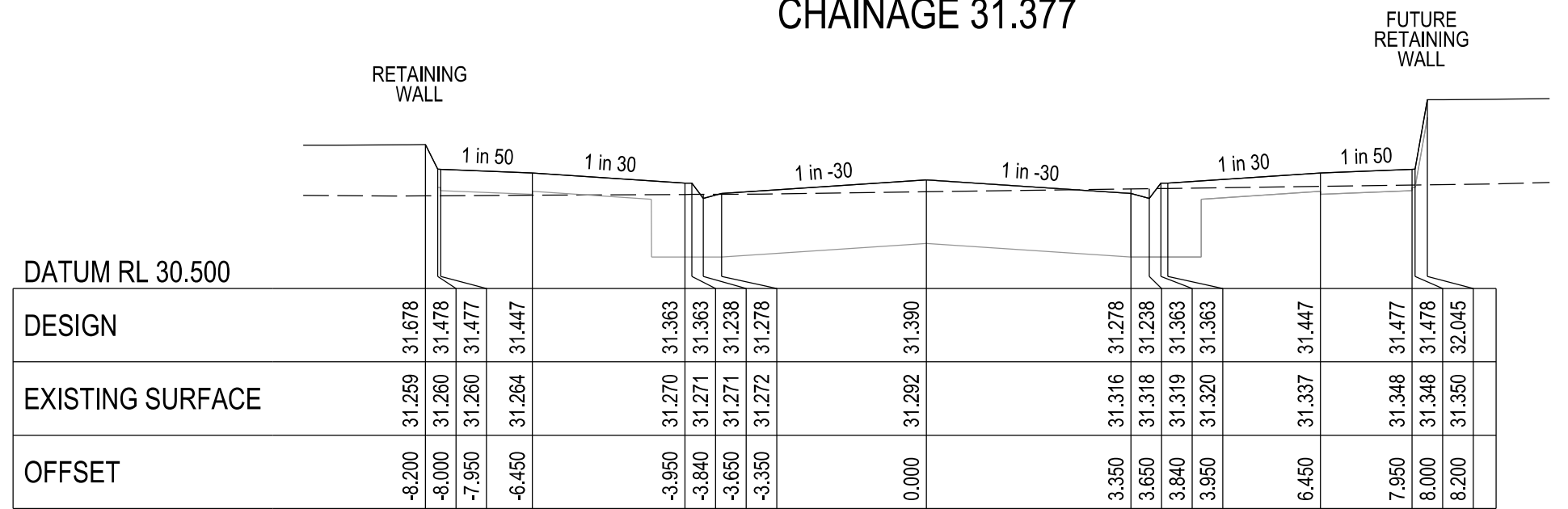
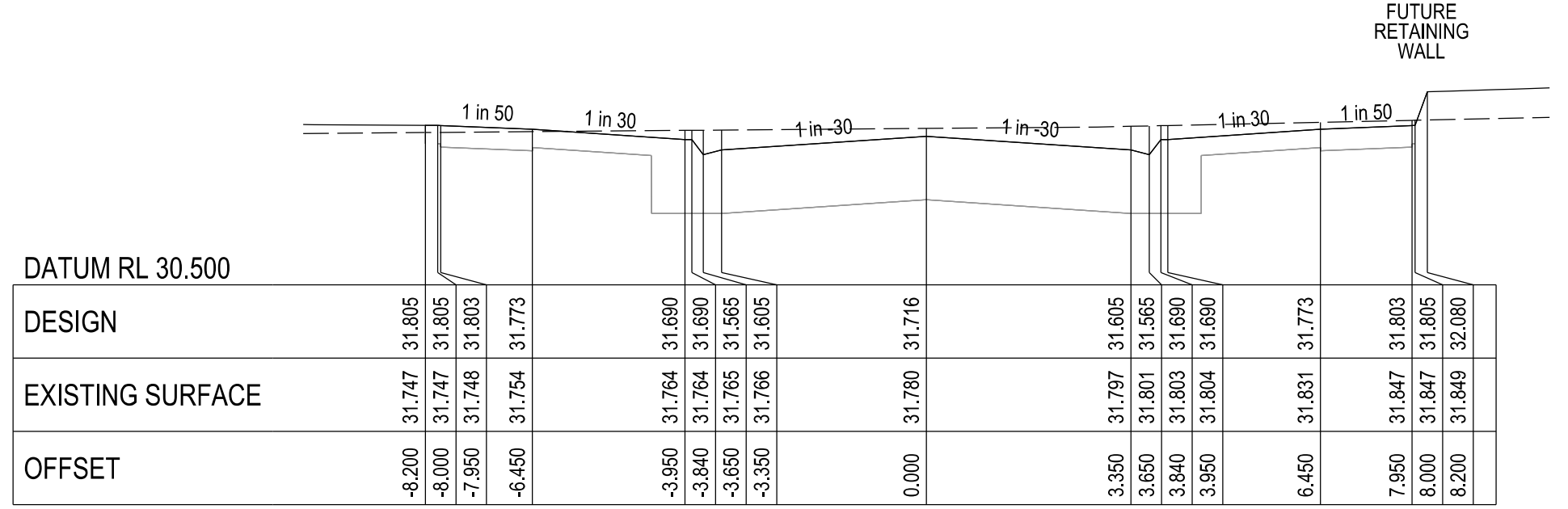
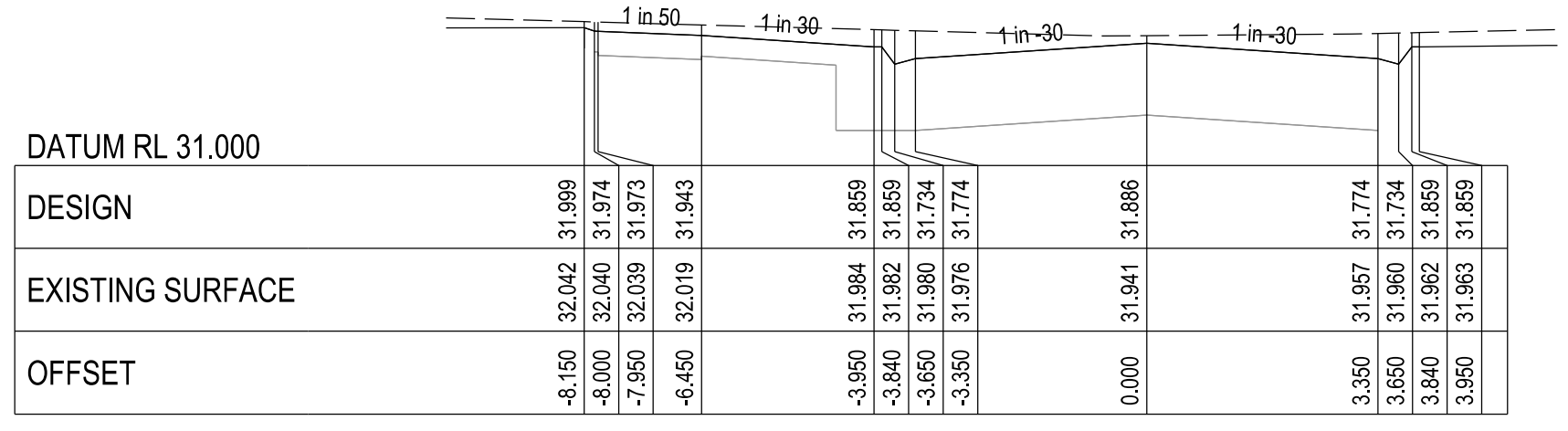
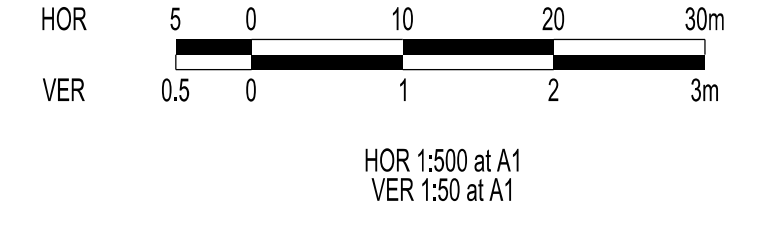
PICNIC AVENUE CROSS SECTIONS 1

DRG NO. 1137_9B/R14	REV. K	SHEET 14 OF 21
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FUJI STREET - LONGITUDINAL SECTION
 A1 HORZ SCALE 1:500
 A1 VERT SCALE 1:50

City of Casey
 Approved By : Ivan Heng
 Plan No. : R5340
 File No. : SEng00271/19
 Planning Permit No. : PlnA00127/16.A
 Date : 03/12/2019
 Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.



VERSION DETAILS:

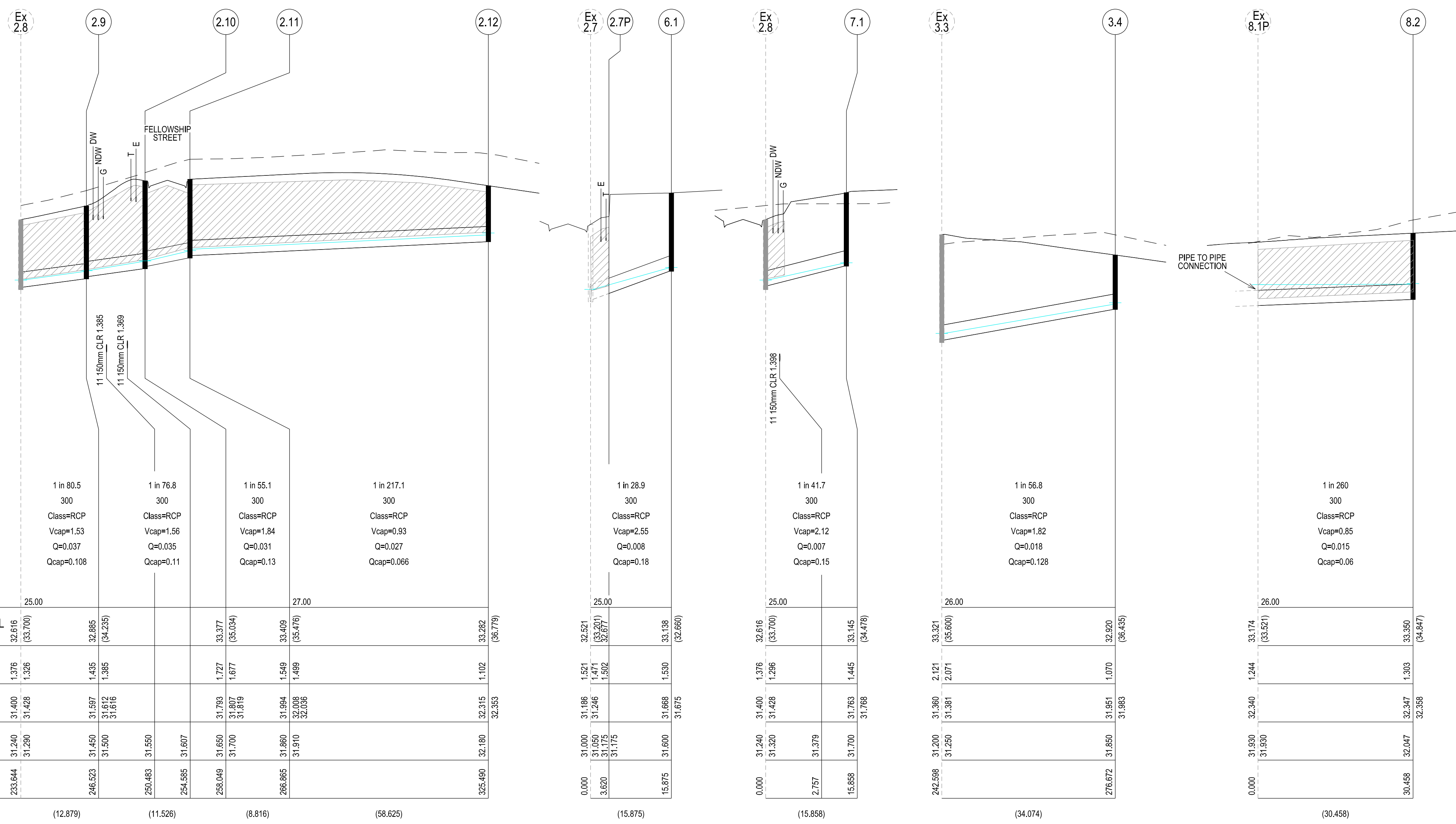
REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

FILENAME: P:\1137\1137_9B\12 - Design\6 - DGN\R15.dgn

DRAWN: ML	DATE: MAY 2019	SCALE: AS SHOWN
DESIGNED: ML	DATE: MAY 2019	DATE PRINTED: 15/11/2019
AUTHORISED: TS	DATE: MAY 2019	

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COUNCIL: CITY OF CASEY
 TITLE: BROWN PROPERTY GROUP
 MERIDIAN ESTATE - STAGE 9B
 1850 THOMPSONS ROAD, CLYDE NORTH



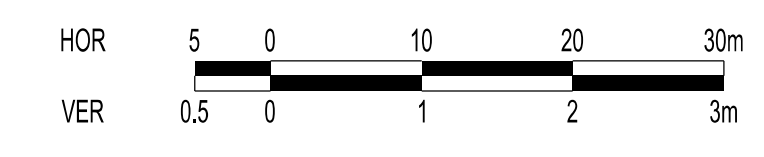
PIPE GRADE (1 in)
 PIPE SIZE (mm)
 PIPE CLASS/TYPE
 Vcap - CAPACITY VELOCITY (m/s)
 Q - PIPE FLOW (m3/s)
 Qcap - CAPACITY FLOW (m3/s)

DATUM RL	25.00				27.00				25.00				25.00				26.00				26.00			
COVER (& NATURAL SURFACE) LEVEL	32.616	32.885	33.377	33.409	32.521	32.885	33.377	33.409	32.616	32.885	33.377	33.409	33.321	33.321	33.321	33.321	33.174	33.174	33.174	33.174	33.350	33.350	33.350	33.350
DEPTH TO INVERT	4.376	4.335	1.727	1.549	1.521	1.435	1.677	1.489	4.376	4.290	1.296	1.446	2.121	2.071	1.070	1.244	1.244	1.244	1.244	1.244	1.303	1.303	1.303	1.303
HYDRAULIC GRADE LINE	31.400	31.597	31.793	31.894	31.198	31.450	31.646	31.793	31.400	31.597	31.793	31.894	31.360	31.381	31.551	31.583	32.340	32.340	32.340	32.340	32.347	32.347	32.347	32.347
INVERT LEVEL	31.240	31.450	31.650	31.850	31.000	31.200	31.400	31.600	31.240	31.440	31.640	31.840	31.200	31.250	31.450	31.483	31.950	31.950	31.950	31.950	32.047	32.047	32.047	32.047
PIPE CHAINAGE	233.644	246.523	259.483	266.865	0.000	3.620	15.875	15.875	0.000	2.757	15.858	15.858	242.598	276.672	304.458	304.458	0.000	30.458	30.458	30.458	30.458	30.458	30.458	30.458
	(12.879)	(11.526)	(8.816)	(58.625)	(15.875)	(15.858)	(34.074)	(34.074)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)	(30.458)

STOP
 Major Cables exist in the area, if your activities are within Telstra encroachment distances (see duty of care) contact 03 9632 9961 at least 2 business days before starting activity.

WARNING
BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

LOCATION OF WATER, GAS, ELECTRICITY AND TELECOMMUNICATION SERVICES ARE INDICATIVE ONLY



HOR 1:500 at A1
 VER 1:50 at A1

VERSION DETAILS:

REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
F	19/08/19	POS CHANGES	PRELIMINARY
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

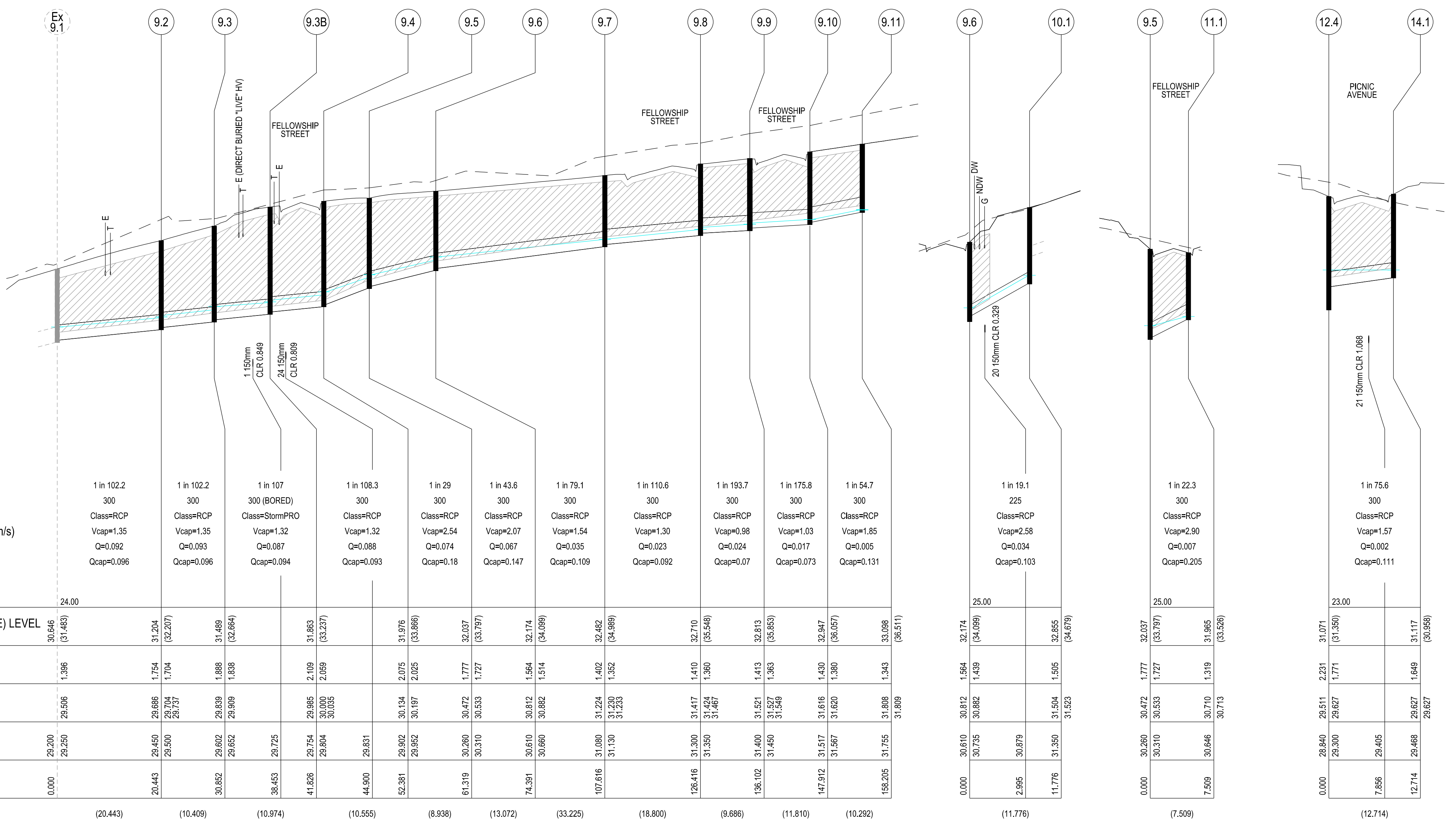
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DRAWN:	ML	DATE:	MAY 2019	SCALE:	AS SHOWN
DESIGNED:	ML	DATE:	MAY 2019	DATE PRINTED:	15/11/2019
AUTHORISED:	TS	DATE:	MAY 2019		

City of Casey
 Approved By : Ivan Heng
 Plan No. : R5340
 File No. : SENG0027/19
 Planning Permit No. : PInA00127/16.A
 Date : 03/12/2019
 Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.



COUNCIL: CITY OF CASEY
 TITLE: BROWN PROPERTY GROUP
 MERIDIAN ESTATE - STAGE 9B
 1850 THOMPSONS ROAD, CLYDE NORTH
 DRAINAGE LONGITUDINAL SECTIONS 1



PIPE GRADE (1 in)
 PIPE SIZE (mm)
 PIPE CLASS/TYPE
 Vcap - CAPACITY VELOCITY (m/s)
 Q - PIPE FLOW (m3/s)
 Qcap - CAPACITY FLOW (m3/s)

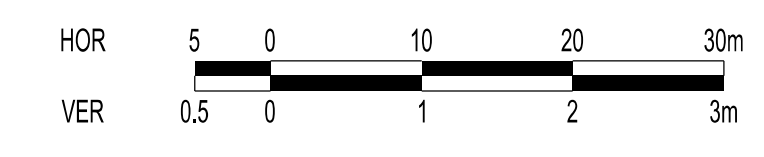
PIPE GRADE (1 in)	PIPE SIZE (mm)	PIPE CLASS/TYPE	Vcap - CAPACITY VELOCITY (m/s)	Q - PIPE FLOW (m3/s)	Qcap - CAPACITY FLOW (m3/s)
1 in 102.2	300	Class=RCP	Vcap=1.35	Q=0.092	Qcap=0.096
1 in 102.2	300	Class=RCP	Vcap=1.35	Q=0.093	Qcap=0.096
1 in 107 (BORED)	300	Class=StormPRO	Vcap=1.32	Q=0.087	Qcap=0.094
1 in 108.3	300	Class=RCP	Vcap=1.32	Q=0.088	Qcap=0.093
1 in 29	300	Class=RCP	Vcap=2.54	Q=0.074	Qcap=0.18
1 in 43.6	300	Class=RCP	Vcap=2.07	Q=0.067	Qcap=0.147
1 in 79.1	300	Class=RCP	Vcap=1.54	Q=0.035	Qcap=0.109
1 in 110.6	300	Class=RCP	Vcap=1.30	Q=0.023	Qcap=0.092
1 in 193.7	300	Class=RCP	Vcap=0.98	Q=0.024	Qcap=0.07
1 in 175.8	300	Class=RCP	Vcap=1.03	Q=0.017	Qcap=0.073
1 in 54.7	300	Class=RCP	Vcap=1.85	Q=0.005	Qcap=0.131

DATUM RL	COVER (& NATURAL SURFACE) LEVEL	DEPTH TO INVERT	HYDRAULIC GRADE LINE	INVERT LEVEL	PIPE CHAINAGE
24.00	30.646 (31.463)	1.396	29.506	29.200	0.000
	31.204 (32.207)	1.754	29.686 (29.737)	29.450 (29.500)	20.443
	31.459 (32.664)	1.888 (1.838)	29.639 (29.509)	29.602 (29.652)	30.852
	31.863 (33.237)	2.109 (2.059)	29.985 (30.000)	29.754 (29.804)	41.826
	31.976 (33.866)	2.075 (2.025)	30.134 (30.197)	29.902 (29.952)	52.381
	32.027 (33.797)	1.777 (1.727)	30.472 (30.533)	30.260 (30.310)	61.319
	32.174 (34.099)	1.564 (1.514)	30.812 (30.882)	30.610 (30.660)	74.391
	32.482 (34.989)	1.402 (1.352)	31.224 (31.233)	31.080 (31.130)	107.616
	32.710 (35.548)	1.410 (1.360)	31.417 (31.467)	31.300 (31.350)	126.416
	32.813 (36.883)	1.413 (1.363)	31.521 (31.527)	31.400 (31.450)	136.102
	32.947 (36.057)	1.430 (1.380)	31.616 (31.620)	31.517 (31.567)	147.912
	33.098 (36.511)	1.343 (1.293)	31.808 (31.809)	31.755 (31.755)	158.205

STOP
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HOR 1:500 at A1
 VER 1:50 at A1

REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
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G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
I	21/10/19	MINOR AMENDMENTS TO RETAINING WALL LAYOUTS	PRELIMINARY
J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

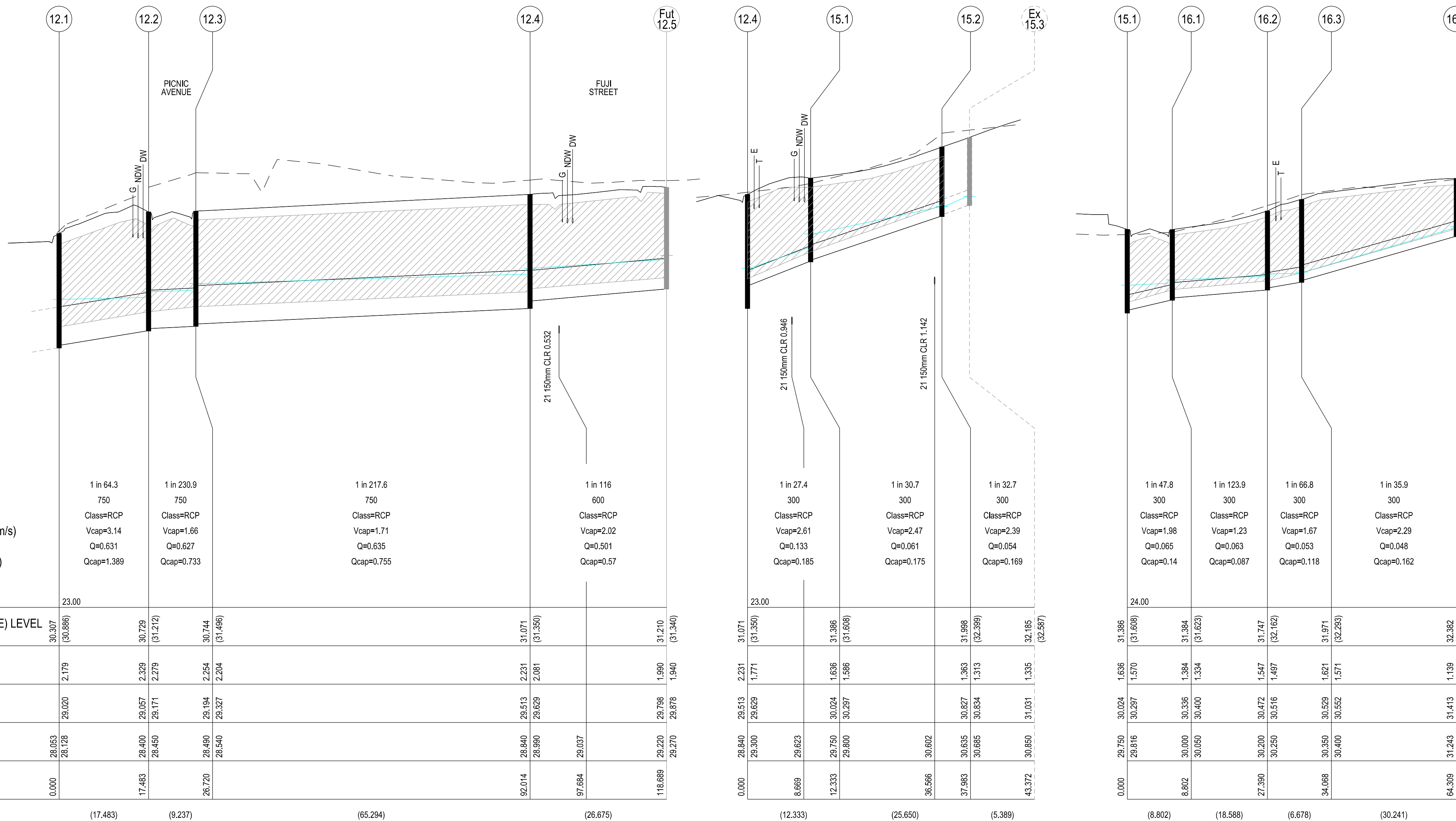
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DRAWN:	ML	DATE:	MAY 2019
DESIGNED:	ML	DATE:	MAY 2019
AUTHORISED:	TS	DATE:	MAY 2019



COUNCIL: CITY OF CASEY
 TITLE: BROWN PROPERTY GROUP
 MERIDIAN ESTATE - STAGE 9B
 1850 THOMPSONS ROAD, CLYDE NORTH
 DRAINAGE LONGITUDINAL SECTIONS 2

DRG NO. 1137_9B/17	REV. K	SHEET 17 OF 21
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City of Casey
 Approved By : Ivan Heng
 Plan No. : R5340
 File No. : SEng00271/19
 Planning Permit No. : PInA00127/16.A
 Date : 03/12/2019
 Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.

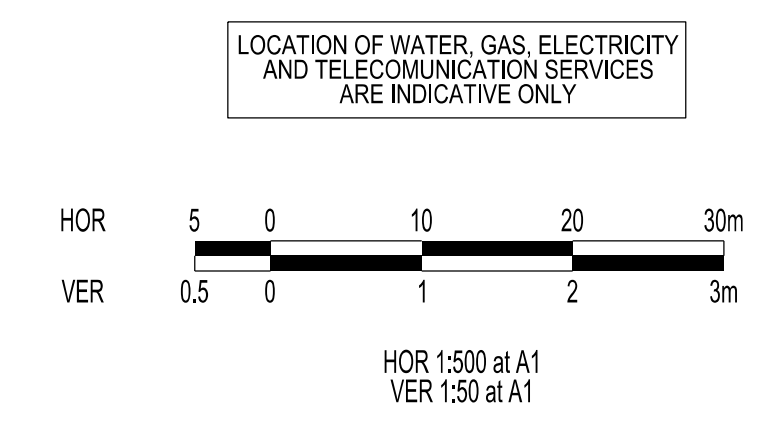


PIPE GRADE (1 in)
 PIPE SIZE (mm)
 PIPE CLASS/TYPE
 Vcap - CAPACITY VELOCITY (m/s)
 Q - PIPE FLOW (m3/s)
 Qcap - CAPACITY FLOW (m3/s)

DATUM RL	23.00				23.00				24.00				
COVER (& NATURAL SURFACE) LEVEL	30.307 (30.886)	30.729 (31.212)	30.744 (31.496)	31.071 (31.350)	31.071 (31.350)	31.386 (31.608)	31.998 (32.399)	32.185 (32.587)	31.386 (31.608)	31.384 (31.623)	31.747 (32.162)	31.971 (32.293)	32.392 (32.230)
DEPTH TO INVERT	2.179	2.329	2.254	2.231	1.771	1.636	1.363	1.335	1.636	1.370	1.547	1.571	1.139
HYDRAULIC GRADE LINE	29.020	29.057	29.194	29.629	29.629	30.024	30.827	31.031	30.297	30.400	30.516	30.562	31.413
INVERT LEVEL	28.053	28.400	28.450	28.840	28.990	29.750	30.635	30.850	29.300	30.050	30.200	30.350	31.243
PIPE CHAINAGE	0.000	17.483	26.720	37.684	49.014	58.689	66.566	73.372	8.689	12.333	27.390	34.068	64.309
	(17.483)	(9.237)			(65.294)		(26.675)		(12.333)	(25.650)	(5.389)		(8.802)
													(18.588)
													(6.678)
													(30.241)

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VERSION DETAILS:

REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
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G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY
H	17/10/19	RETAINING WALL DETAILS ADDED	PRELIMINARY
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K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

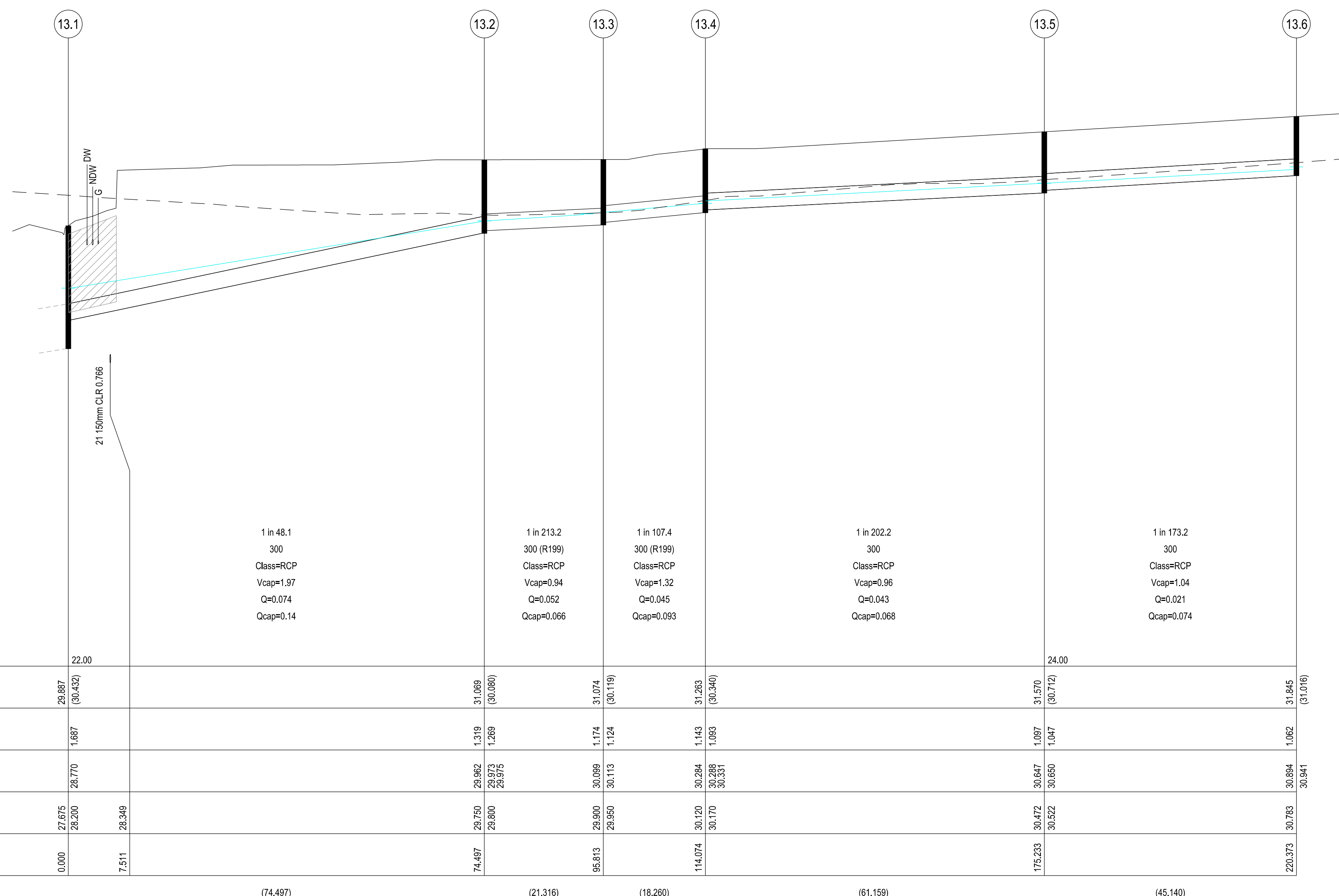
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DRAWN: ML	DATE: MAY 2019	SCALE: AS SHOWN
DESIGNED: ML	DATE: MAY 2019	DATE PRINTED: 15/11/2019
AUTHORISED: TS	DATE: MAY 2019	

City of Casey
 Approved By : Ivan Heng
 Plan No. : R5340
 File No. : SEng00271/19
 Planning Permit No. : PlnA00127/16.A
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 LAND DEVELOPMENT CONSULTANTS
 SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930
 www.charltondegg.com.au

COUNCIL: CITY OF CASEY
 TITLE: BROWN PROPERTY GROUP
 MERIDIAN ESTATE - STAGE 9B
 1850 THOMPSONS ROAD, CLYDE NORTH
 DRAINAGE LONGITUDINAL SECTIONS 3
 DRG NO. 1137_9B/18 REV. K SHEET 18 OF 21



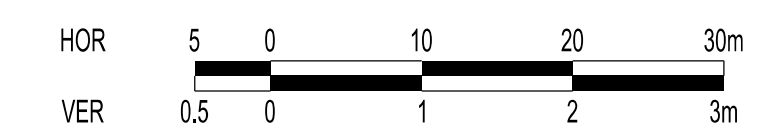
PIPE GRADE (1 in)
 PIPE SIZE (mm)
 PIPE CLASS/TYPE
 Vcap - CAPACITY VELOCITY (m/s)
 Q - PIPE FLOW (m3/s)
 Qcap - CAPACITY FLOW (m3/s)

	13.1	13.2	13.3	13.4	13.5	13.6
PIPE GRADE (1 in)		1 in 48.1	1 in 213.2	1 in 107.4	1 in 202.2	1 in 173.2
PIPE SIZE (mm)		300	300 (R199)	300 (R199)	300	300
PIPE CLASS/TYPE		Class=RCP	Class=RCP	Class=RCP	Class=RCP	Class=RCP
Vcap - CAPACITY VELOCITY (m/s)		Vcap=1.97	Vcap=0.94	Vcap=1.32	Vcap=0.96	Vcap=1.04
Q - PIPE FLOW (m3/s)		Q=0.074	Q=0.052	Q=0.045	Q=0.043	Q=0.021
Qcap - CAPACITY FLOW (m3/s)		Qcap=0.14	Qcap=0.066	Qcap=0.093	Qcap=0.068	Qcap=0.074
DATUM RL	22.00				24.00	
COVER (& NATURAL SURFACE) LEVEL	29.887 (30.432)	31.069 (30.080)	31.074 (30.119)	31.263 (30.340)	31.570 (30.712)	31.845 (31.016)
DEPTH TO INVERT	1.887	1.319 1.269	1.174 1.124	1.143 1.093	1.097 1.047	1.062
HYDRAULIC GRADE LINE	28.770	29.962 29.972 29.975	30.069 30.113	30.284 30.288 30.331	30.647 30.650	30.894 30.941
INVERT LEVEL	27.675 28.200	28.750 29.800	29.900 29.950	30.120 30.170	30.472 30.522	30.783
PIPE CHAINAGE	0.000 7.511	74.497	95.813	114.074	175.233	220.373
		(74.497)	(21.316)	(18.260)	(61.159)	(45.140)

STOP
 Major Cables exist in the area, if your activities are within Telstra encroachment distances (see duty of care) contact 03 9632 9961 at least 2 business days before starting activity.

WARNING
BEWARE OF UNDERGROUND SERVICES
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LOCATION OF WATER, GAS, ELECTRICITY AND TELECOMMUNICATION SERVICES ARE INDICATIVE ONLY



HOR 1:500 at A1
 VER 1:50 at A1

VERSION DETAILS:			
REV	DATE	DESCRIPTION	STATUS
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY
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J	6/11/19	RETAINING WALL DETAILS UPDATED	PRELIMINARY
K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY

FILENAME:	P:\1137\1137_9B\12 - Design\6 - DGN\R19.dgn		
DRAWN:	ML	DATE:	MAY 2019
DESIGNED:	ML	DATE:	MAY 2019
AUTHORISED:	TS	DATE:	MAY 2019
SCALE:	AS SHOWN		
DATE PRINTED:	15/11/2019		



COUNCIL:
CITY OF CASEY

TITLE:
**BROWN PROPERTY GROUP
 MERIDIAN ESTATE - STAGE 9B
 1850 THOMPSONS ROAD, CLYDE NORTH**

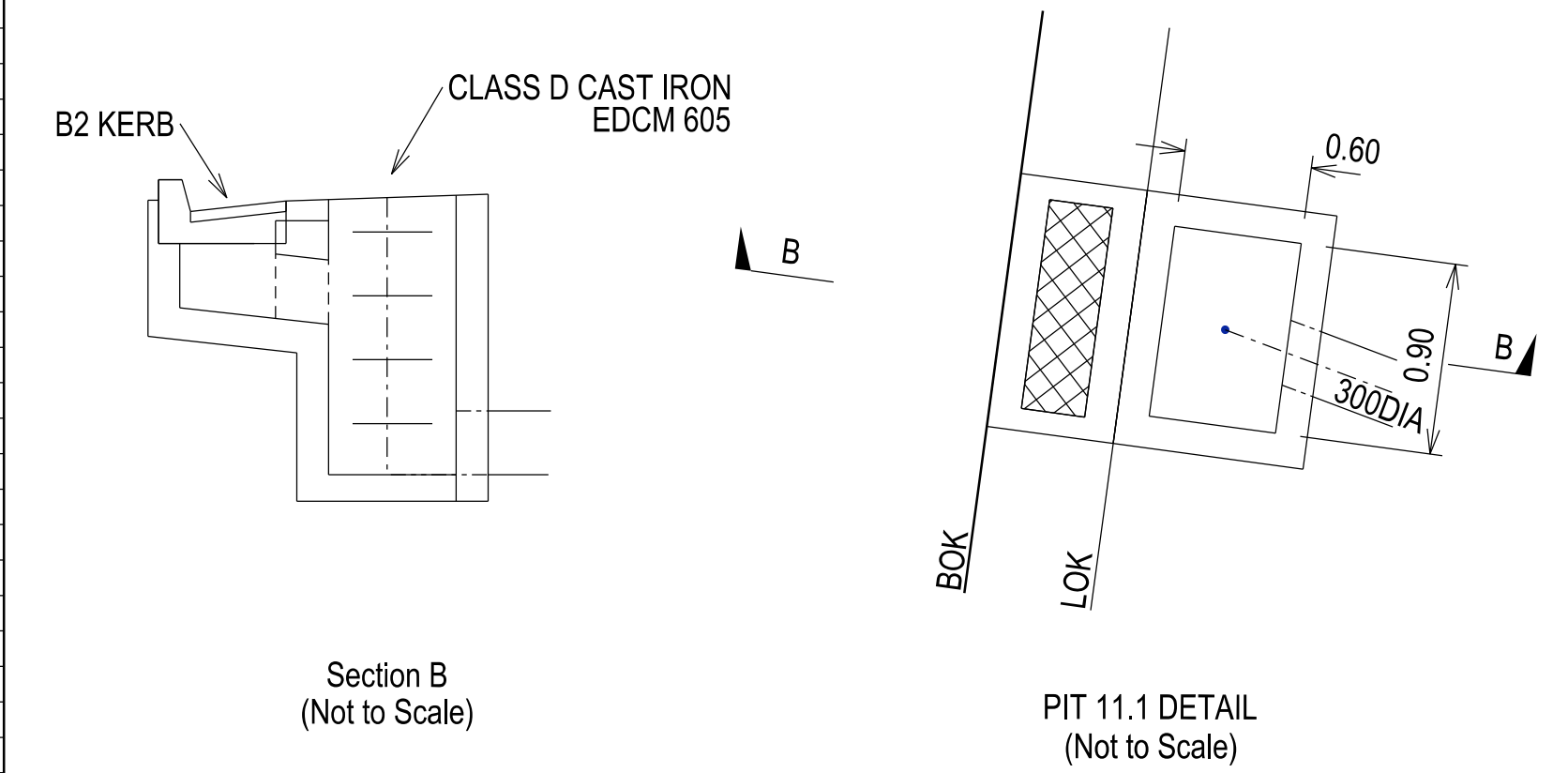
DRAINAGE LONGITUDINAL SECTIONS 4

City of Casey
 Approved By : Ivan Heng
 Plan No. : **R5340**
 File No. : **SEng00271/19**
 Planning Permit No. : **PlnA00127/16.A**
 Date : **03/12/2019**
 Approval Subject to : -
 - An EMP and TMP will need to be submitted and approved prior to commencement of works.
 - Relevant services authorities notification and approval.

PIT SCHEDULE

Pit Name	TYPE	EASTING	NORTHING	INTERNAL WD	LEN	INLET DIA	INV LEV	OUTLET DIA	INV LEV	PIT SETOUT RL	DEPTH	REMARKS
2.12	JP	354812.636	5782506.474	600	900			300	32.18	33.282	1.102	EDCM 605 (Class D Cover)
2.11	GSEP	354865.876	5782531.018	600	900	300	31.91	300	31.86	33.409	1.549	EDCM 603 (Class D Cover)
2.10	GSEP	354862.668	5782539.23	600	900	300	31.7	300	31.65	33.377	1.727	EDCM 603
2.9	GSEP	354866.658	5782550.043	600	900	300	31.5	300	31.45	32.885	1.435	EDCM 603
Ex2.8	JP	354861.266	5782561.739			300	31.29	300	31.24	32.616	1.376	Existing Pit Line 7 Enters
						300	31.32			32.616	1.376	
3.4	JP	354796.735	5782531.99	600	900			300	31.85	32.92	1.07	EDCM 605
Ex3.3	JP	354827.68	5782546.256			300	31.25	300	31.2	33.321	2.121	Existing Pit
6.1	JP	354882.53	5782575.286	600	900			300	31.6	33.138	1.538	EDCM 605
Ex2.7P	EP Drain	354871.406	5782570.158			300	31.175			32.677	1.502	End of Pipe
7.1	JP	354846.865	5782555.1	600	900			300	31.7	33.145	1.445	EDCM 605
8.2	JP	354876.86	5782535.99	600	900			300	32.047	33.35	1.303	EDCM 605
Ex8.1P	EP Drain	354904.32	5782548.741			300	31.93			33.174	1.244	End of Pipe
9.11	JP	354801.284	5782501.241	600	900			300	31.755	33.098	1.343	EDCM 605
9.10	GSEP	354791.937	5782496.932	600	900	300	31.567	300	31.517	32.947	1.43	EDCM 603 (Class D Cover)
9.9	GSEP	354783.128	5782504.799	600	900	300	31.45	300	31.4	32.813	1.413	EDCM 603
9.8	JP	354773.508	5782505.932	600	900	300	31.35	300	31.3	32.71	1.41	EDCM 605
9.7	GSEP	354771.309	5782487.261	600	900	300	31.13	300	31.08	32.482	1.402	EDCM 603
9.6	JP	354767.423	5782454.263	600	900	300	30.66	300	30.61	32.174	1.564	EDCM 605
						225	30.735			32.174	1.564	Line 10 Enters
9.5	JP	354766.19	5782441.25	600	900	300	30.31	300	30.26	32.037	1.777	EDCM 605
						300	30.31			32.037	1.777	Line 11 Enters
9.4	GSEP	354767.824	5782432.463	600	900	300	29.952	300	29.902	31.976	2.074	EDCM 603
9.3b	JP	354759.117	5782426.512	600	1200	300	29.804	300	29.754	31.863	2.109	EDCM 605
9.3	GSEP	354750.475	5782419.733	600	900	300	29.652	300	29.602	31.489	1.887	EDCM 603
9.2	JP	354740.205	5782418.034	600	900	300	29.5	300	29.45	31.204	1.754	EDCM 605
Ex9.1	GSEP	354719.766	5782417.671			300	29.25	300	29.2	30.646	1.396	Existing Pit
10.1	JP	354778.846	5782457.126	600	900	225	31.9	225	31.35	32.855	1.505	EDCM 605
11.1	GSEP	354759.16	5782443.891	600	900			300	30.646	31.965	1.319	EDSM 601 (MODIFIED) Refer Detail (Class D Cover)
Fut12.5	GSEP	354752.573	5782304.675	750	900	600	29.27	600	29.22	31.21	1.99	Future Pit
12.4	GSEP	354744.101	5782329.97	900	900	600	28.99	750	28.84	31.071	2.231	EDCM 603
						300	29.3			31.071	2.231	Line 15 Enters
						300	29.3			31.071	2.231	Line 14 Enters
12.3	GSEP	354729.091	5782393.515	900	1050	750	28.54	750	28.49	30.744	2.254	EDCM 603
12.2	GSEP	354719.937	5782394.748	900	1350	750	28.45	750	28.4	30.729	2.329	EDCM 603
12.1	GSEP	354705.805	5782405.041	1950	1500	750	28.128	825	28.053	30.307	2.254	EDCM603 Build Over
13.6	JP	354764.155	5782199.501	600	900			300	30.783	31.845	1.062	EDCM 605
13.5	JP	354745.303	5782240.516	600	900	300	30.522	300	30.472	31.57	1.097	EDCM 605
13.4	JP	354719.761	5782296.087			300	30.17	300	30.12	31.263	1.143	EDCM 605
13.3	GP	354712.906	5782313.004	600	900	300	29.95	300	29.9	31.074	1.174	EDCM 605 w Grate
13.2	JP	354706.906	5782333.448	600	900	300	29.8	300	29.75	31.069	1.319	EDCM 605
13.1	JP	354689.78	5782405.95	1050	900	300	28.2	825	27.675	29.887	2.212	EDCM 605 Build Over
14.1	GSEP	354737.721	5782318.973	600	900			300	29.468	31.117	1.649	EDCM 603
15.2	JP	354778.747	5782334.39	900	900	300	30.685	300	30.635	31.998	1.363	EDCM 605 Build Over
15.1	GSEP	354755.114	5782324.419	600	900	300	29.8	300	29.75	31.386	1.636	EDCM 603
						300	29.816			31.386	1.636	Line 16 Enters
16.4	JP	354794.464	5782293.988	600	900	300	31.293	300	31.243	32.382	1.139	EDCM 603 (Class D Cover)
16.3	JP	354781.834	5782321.466	600	900	300	30.4	300	30.35	31.971	1.621	EDCM 605 w Future Grate
16.2	GSEP	354775.502	5782323.587	600	900	300	30.25	300	30.2	31.747	1.547	EDCM 603
16.1	GSEP	354758.418	5782316.261	600	900	300	30.05	300	30	31.384	1.384	EDCM 603
30.1	JP	354719.008	5782404.313	1050	900	300	28.9	825	28.4	30.535	2.135	Rebuild as EDCM 605 (Class D Cover)
30.2	GSEP	354740.057	5782404.539	600	900	300	29.65	300	29.61	31.168	1.558	EDCM 603 Build Over

NOTE:
1. xy setout to pit centre
2. setout level to pit cover level



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FILENAME: P:\1137\1137_9B\12 - Design\6 - DGN\R20.dgn

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AUTHORISED:	TS	DATE:	MAY 2019		



SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930
www.charltondegg.com.au

COUNCIL:
CITY OF CASEY
TITLE:
BROWN PROPERTY GROUP
MERIDIAN ESTATE - STAGE 9B
1850 THOMPSONS ROAD, CLYDE NORTH

PIT SCHEDULE

DRG NO.	1137_9B/20	REV.	K	SHEET	20 OF 21
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City of Casey

Approved By : Ivan Heng
Plan No. : R5340
File No. : SEng00271/19
Planning Permit No. : PInA00127/16.A
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LEGEND

	FOOTPATH
	VEHICULAR CROSSOVER
	KERB AND CHANNEL
	ELECTRICITY TELECOMMUNICATION } CONDUITS
	GAS DRINKING WATER NON DRINKING WATER } CONDUITS
	ELECTRICITY MAIN
	TELECOMMUNICATION MAIN
	GAS MAIN
	DRINKING WATER MAIN
	NON DRINKING WATER MAIN
	SEWER MAIN, MANHOLE, MAINTENANCE SHAFT AND SEWER PROPERTY BRANCHES
	PROPOSED DRAINAGE, PIT, HOUSE DRAIN AND PROPERTY INLET
	EXISTING DRAINAGE AND PIT AND FUTURE DRAINAGE AND PIT
	DRAINAGE PIT NUMBER
	PROPOSED CUT AREAS
	PROPOSED FILL AREAS
	EXISTING SURFACE LEVEL
	DESIGN SURFACE LEVEL
	TOP OF BATTER LEVEL
	PRE-DEVELOPMENT LEVEL
	STREET NAME SIGN
	LOT SLOPE DIRECTION
	PERMANENT SURVEY MARK
	TEMPORARY BENCH MARK
	CONCRETE SLEEPER RETAINING WALLS
	MASS ROCK RETAINING WALLS

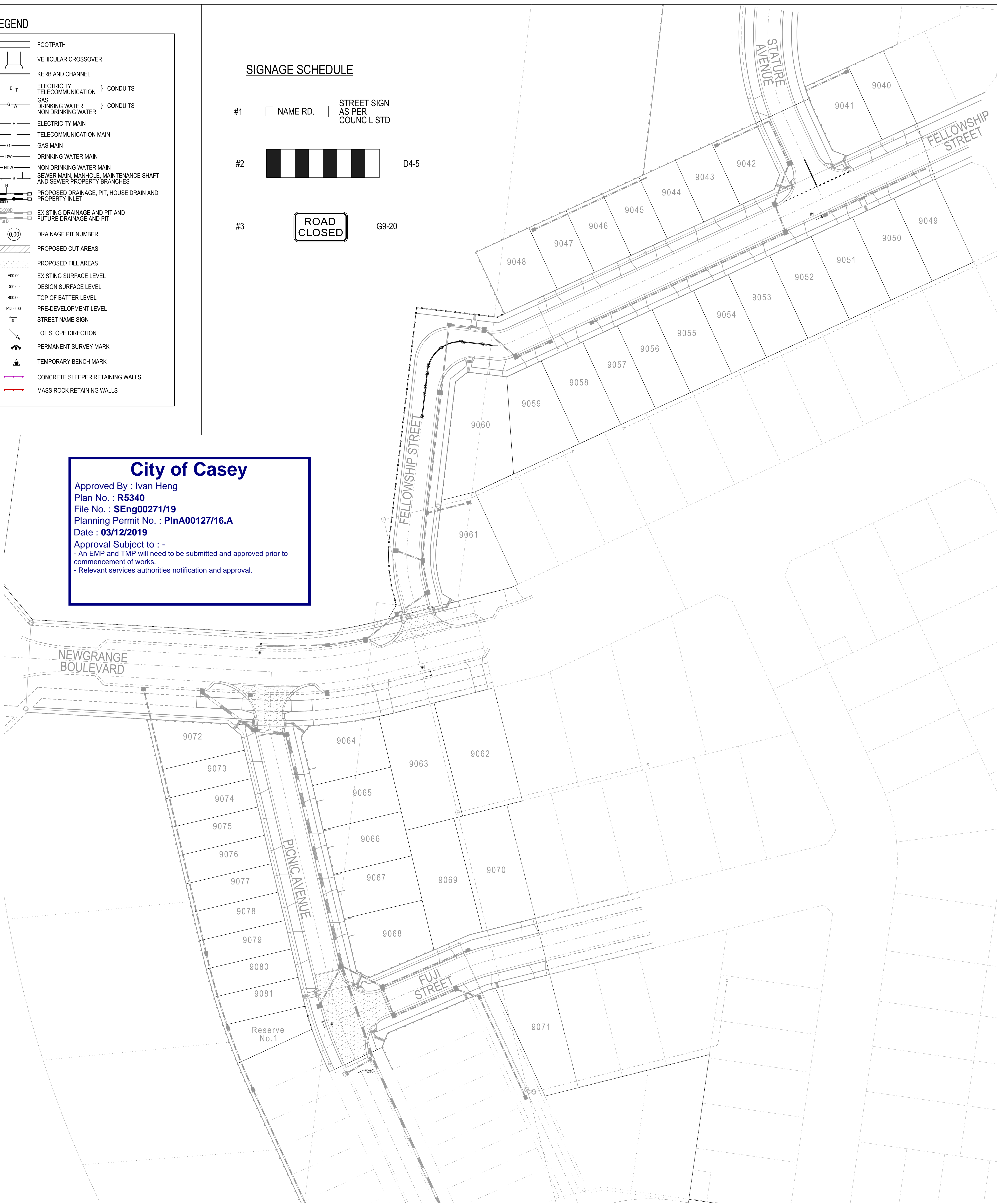
SIGNAGE SCHEDULE

#1		STREET SIGN AS PER COUNCIL STD
#2		D4-5
#3		G9-20

City of Casey

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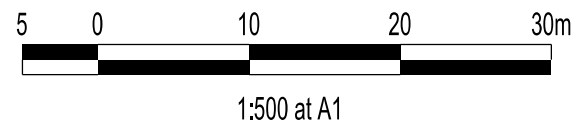
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REV	DATE	DESCRIPTION	STATUS	DESIGNED:	ML	DATE:	MAY 2019	DATE PRINTED:	15/11/2019
D	11/07/19	MINOR DRAINAGE CHANGE LINE 9	PRELIMINARY	AUTHORISED:	TS	DATE:	MAY 2019		
E	30/07/19	MINOR DRAINAGE & SEWER AMENDMENTS	PRELIMINARY	<p>CHARLTON DEGG LAND DEVELOPMENT CONSULTANTS</p> <p>SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930 www.charltondegg.com.au</p>					
F	19/08/19	POS CHANGES	PRELIMINARY						
G	01/10/19	MINOR DRAINAGE AMENDMENTS	PRELIMINARY						
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K	14/11/19	COUNCIL COMMENTS 2019/11/13	PRELIMINARY	TITLE: BROWN PROPERTY GROUP MERIDIAN ESTATE- STAGE 9B 1850 THOMPSONS ROAD, CLYDE NORTH					
FILENAME: P:\1137\1137_9B\E\2 - Design\6 - DGN\R21.dgn				DRG NO:	1137_9B/R21	REV:	K	SHEET 21 OF 21	

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